CREEKSIDE MASONBORO SOUND RD WILMINGTON, NORTH CAROLINA 28409

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT ATTN: BRIAN CHAMBERS, PLANNER PH: 910-342-2782

ATTN: ZONING INSPECTIONS PH: 910-254-0900

PIEDMONT NATURAL GAS ATTN: CATHY PLEASANT PH: 910-251-2827

EMERGENCY DIAL 911 POLICE - FIRE - RESCUE ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER) ENGINEERING/INSPECTIONS PH: 910-332-6560

OPERATIONS/MAINTENANCE PH: 910-322-6550

DUKE ENERGY DISTRIBUTION CONSTRUCTION SERVICE DEP CSC PH: 1-800-452-2777

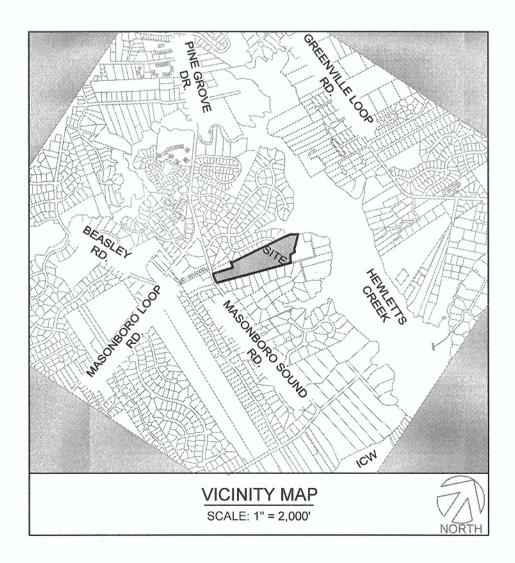
TRANSMISSION AGENT **BILL WILDER** PH: 910-772-4903

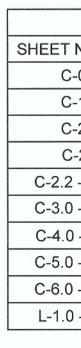
AT&T/BELL SOUTH ATTN: STEVE DAYVAULT (BUILDING ENGINEERING) PH: 910-341-0741

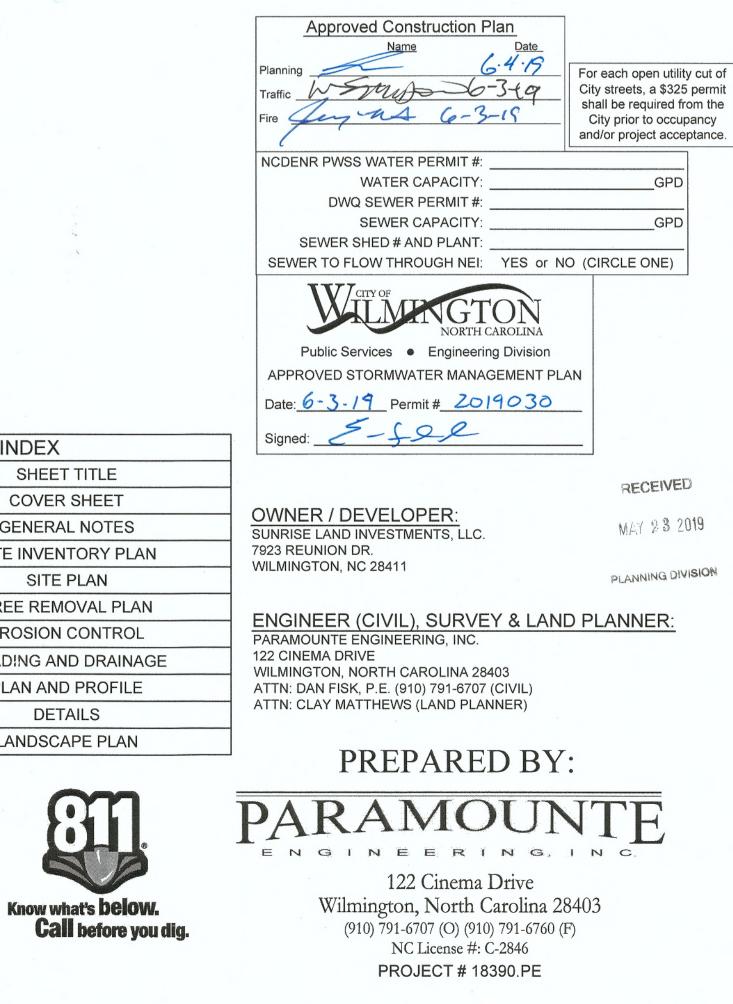
ATTN: JAMES BATSON, ENGINEERING PH: 910-341-1621

SPECTRUM GENERAL PH: 800-892-4357

CONSTRUCTION PLANS MARCH 2019 LAST REVISED: MAY 2019







CONSTRUCTION

FOR

NOT RELEASED

1

FINAL DESIGN

	SHEET INDEX
NUMBER	SHEET TITLE
-0.0	COVER SHEET
-1.0	GENERAL NOTES
-2.0	SITE INVENTORY PLAN
-2.1	SITE PLAN
- C-2.4	TREE REMOVAL PLAN
- C-3.2	EROSION CONTROL
) - C-4.1	GRADING AND DRAINAGE
- C-5.2	PLAN AND PROFILE
- C-6.4	DETAILS
) - L-1.1	LANDSCAPE PLAN

Professional Seal redacted on electroni copy per City of Wilmington Policy

OORDINATION NOTES

- HE CONTRACTOR IS REQUIRED TO OBTAIN ANY/ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND WITH CITY OF WILMINGTON, NEW HANOVER COUNTY, AND THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS TO ESTABLISH AND CHECK ALL HORIZONTAL AND VERTICAL CONTROLS TO BE USED WITH THE PROJECT. IN ADDITION, THE CONTRACTOR IS TO COMPUTE THE LAYOUT OF THE ENTIRE SITE PLAN IN ADVANCE OF BEGINNING ANY WORK ASSOCIATED WITH THE SUBJECT PLANS. CONTRACTOR SHALL EMPLOY A PROFESSIONAL SURVEYOR TO PERFORM SITE IMPROVEMENT STAKEOUT(S).
- ANYTIME WORK IS PERFORMED OFF-SITE OR WITHIN AN EXISTING EASEMENT. THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK, AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- 5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR ALL BUILDING DIMENSIONS AND

GENERAL NOTES

DETAILS.

- AN EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY WAS COMPLETED BY PARAMOUNTE ENGINEERING. INC. THE SURVEY SHALL BE FIELD VERIFIED BY CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE OWNER, OWNERS REPRESENTATIVE AND/OR ENGINEER IMMEDIATELY.
- REASONABLE CARE HAS BEEN EXERCISED IN SHOWING THE LOCATION OF EXISTING UTILITIES ON THE PLANS. THE EXACT LOCATION OF ALL EXISTING UTILITIES IS NOT KNOWN IN ALL CASES. THE CONTRACTOR SHALL EXPLORE THE AREA AHEAD OF DITCHING OPERATIONS BY OBSERVATIONS, ELECTRONIC DEVICES, HAND DIGGING AND BY PERSONAL CONTACT WITH THE UTILITY COMPANIES. IN ORDER TO LOCATE EXISTING UTILITIES IN ADVANCE OF TRENCHING OPERATIONS SO AS TO ELIMINATE OR MINIMIZE DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS RESULTING FROM ANY DAMAGE TO THE EXISTING UTILITY LINES INCLUDING LOSS OF UTILITY REVENUES. CONTRACTOR SHALL ARRANGE FOR TEMPORARY SUPPORT OF EXISTING UTILITIES, SUCH AS POLES, CONDUITS, FIBER OPTIC CABLES, TELEPHONE CABLES, WATER LINES, ETC
- 3. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- 4. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK SO AS TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK, SUITABLE BARRIERS, FENCES, SIGNS OR OTHER ADEQUATE PROTECTION, INCLUDING FLAGMEN AND WATCHMEN AS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC AS WELL AS THOSE ENGAGED IN THE CONSTRUCTION WORK. CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE DOT.
- 5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- 6. ALL WORK BY THE CONTRACTOR SHALL BE WARRANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER ACCEPTS THE WORK.
- 7. CONTRACTOR SHALL CALL NORTH CAROLINA 811 AT "811" AND ALLOW THE CENTER TO LOCATE EXISTING UTILITIES BEFORE DIGGING.

DEMOLITION NOTE

- CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED, ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE CONSIDERED UNCLASSIFIED EXCAVATION.
- DEMOLITION SHALL INCLUDE BUT IS NOT LIMITED TO THE EXCAVATION. HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER.
- FLECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PRODUCE A PHOTOGRAPHIC RECORD (DIGITAL) OF DEVELOPMENT COMMENCING WITH A RECORD OF THE SITE AS IT APPEARS BEFORE DEMOLITION HAS BEGUN. AFTERWARDS, A PHOTOGRAPHIC RECORD SHALL BE MAINTAINED WEEKLY DURING CONSTRUCTION AND ENDING WITH A PHOTOGRAPHIC RECORD OF THE DEVELOPMENT AS IT APPEARS AFTER DEMOLITION. THIS RECORD SHALL BE DELIVERED TO THE OWNER.
- EXISTING CURB AND GUTTER, LIGHTS, SIDEWALK, AND UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE 6. MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.
- CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHE
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL 10. REGULATIONS AS WELL AS OSHA REGULATIONS.
- EXISTING FIRE HYDRANTS ARE TO REMAIN IN SERVICE
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

SITE NOTES

- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH THE RESPECTIVE UTILITY.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL
- 7. ALL UTILITIES TO SERVICE PROPOSED STRUCTURE SHALL BE UNDERGROUND ON SITE.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 10. IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE GIVEN TO THE OWNER FOR REVIEW, NO DEPARTURES FROM THE CONTRACT DOCUMENT SHALL BE MADE WITHOUT THE PERMISSION OF THE OWNER, THE CITY OF WILMINGTON, OR NEW HANOVER COUNTY RESPECTIVELY.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COST HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE OTHER OBSTRUCTIONS OR FROM DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. CONTACT "NORTH CAROLINA 811" CALL 811 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES.
- 12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- 13. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 14. ALL PARKING LOT DIMENSIONS ARE FROM FACE OF CURB UNLESS NOTED OTHERWISE.
- 15. LANDSCAPE PLANTINGS AT ENTRANCE/ EXITS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS PER LOCAL STANDARDS
- 16. SEEDING TO BE INSTALLED TO LOCAL REQUIREMENTS & STANDARD PRACTICES.
- 17. ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FOR DRIVEWAY(S) ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO
- PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS NOT WITHIN THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- TACTILE WARNING MATS TO BE INSTALLED AT ALL WHEELCHAIR RAMPS.

EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES NOTE: THESE EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES ARE INTENDED FOR EACH "PHASE" OF CONSTRUCTION. THE ORDER AND STEPS TAKEN MUST BE IMPLEMENTED AS EACH PART OF THE PROJECT IS DEVELOPED: WHETHER AS A WHOLE OR IN PHASES. ANY EROSION CONTROL DEVICES/MEASURES MUST REMAIN IN PLACE UNTIL THE ENTIRE BASIN DESIGNED TO HANDLE SEDIMENTATION AND EROSION IS STABILIZED AND ALL IMPROVEMENTS WITHIN THE BASIN ARE COMPLETE.

- PHASE I EROSION CONTROL PLAN:
- 1. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE(S), ESTABLISH THE LIMITS OF DISTURBANCE, AND TEMPORARY SILT FENCE.
- 2. CLEAR AND GRUB THE AREAS REQUIRED TO CONSTRUCT THE SEDIMENT SKIMMER BASIN AND TEMPORARY DIVERSION DITCH (TDD). ONCE COMPLETE, INSTALL SKIMMER AS SHOWN.
- CLEAR AND REMOVE FROM SITE ALL TREES (ONLY ONES TO BE REMOVED), ROOTS, ROOT MAT, ETC. FROM THE AREA WITHIN THE DESIGNATED CLEARING LIMITS. INSTALL REMAINING EROSION CONTROL MEASURES AS SHOWN ON THE PLANS WITHIN THE AREA DISTURBED. ALL EROSION CONTROL MEASURES MUST BE INSTALLED BEFORE COMMENCING CONSTRUCTION.
- 4. PLANT GRASS OVER ALL GRADED AREAS WITHIN 14 DAYS OF CEASE OF ANY GRADING ACTIVITY. PHASE II EROSION CONTROL PLAN:
- 5. IMMEDIATELY UPON THE INSTALLATION OF ANY STORM DRAINAGE CATCH BASIN, DROP INLET, ETC., THE CONTRACTOR SHALL INSTALL INLET PROTECTION TO STOP ANY SEDIMENT FROM ENTERING THE DRAINAGE
- 6. DURING ROUGH GRADING ACTIVITIES, THE CONTRACTOR SHALL GRADE THE SITE IN SUCH A FASHION THAT THE RUNOFF FROM THE SITE IS DIRECTED TO THE TEMPORARY SILT FENCE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND RESTORING TO PRE-CONSTRUTION
- THE FAILURE OF THE EROSION CONTROL MEASURES. DURING GRADING AND AFTER GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CONTINUE TO
- APPROVAL BY LOCAL EROSION CONTROL PROGRAM 9. UPON RECEIVING FINAL INSPECTION AND APPROVAL BY LOCAL EROSION CONTROL PROGRAM, THE
- CONTRACTOR CAN REMOVE TEMPORARY EROSION CONTROL MEASURES. ONCE SITE IS STABILIZED, WET BASINS USED AS SEDIMENT BASINS DURING CONSTRUCTION SHALL BE CLEANED OUT AND RETURNED TO ITS ORIGINAL DESIGN STATE BEFORE IT CAN BE USED AS A STORM WATER FACILITY
- 11. THE CONTRACTOR SHALL CONTINUE TO WATER, FERTILIZE, MOW AND MAINTAIN SPRIGGED, SODDED, AND
- PLANTED AREAS UNTIL ALL CONSTRUCTION IS COMPLETE. GENERAL EROSION AND SEDIMENT CONTROL NOTES
- THE EROSION CONTROL PLAN SHALL INCLUDE PROVISIONS FOR GROUNDCOVER ON ALL EXPOSED PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY, GROUND COVER SHALL BE PROVIDED ON ALL OTHER DISTURBED AREAS WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
- 2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK. (NO SEPARATE PAYMENT).
- THE CONTRACTOR SHALL NOTIFY PLAN APPROVING AUTHORITY ONE WEEK PRIOR TO THE PRECONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO FINAL INSPECTION.
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE. THE TEMPORARY CONSTRUCTION ENTRANCE SHOULD BE THE FIRST MEASURE INSTALLED
- 5. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO THE LOCAL REVIEWING AGENCY FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY EITHER THE REVIEWING AGENCY OR THE ENGINEER. (NO SEPARATE PAYMENT)
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED
- 9. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE IMPROVED SHALL BE SODDED OR
- 10. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- 11. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.
- 12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY CONTRACTOR ONCE STABILIZATION OR A SUFFICIENT GROUND COVER HAS BEEN ESTABLISHED OR AS DIRECTED BY THE ENGINEER. (NO SEPARATE PAYMENT). LOCAL EROSION CONTROL PROGRAM'S FINAL APPROVAL IS REQUIRED PRIOR TO ANY TEMPORARY EROSION CONTROL MEASURES REMOVAL.
- 13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. (NO SEPARATE PAYMENT)
- 14. WHEN CROSSING CREEK OR DRAINAGE-WAY, THE DIVISION OF WATER QUALITY SHALL BE CONTACTED PRIOR TO DISTURBING A CREEK. THE CONTRACTOR SHALL INSTALL RIP-RAP WITH FABRIC ALONG DISTURBED BANKS AND CHANNEL AND RESTORE SLOPES TO ORIGINAL CONTOURS, BUT NOT STEEPER THAN 2:1 MAXIMUM. DISTURBED CREEK AREA SHALL BE STABILIZED IMMEDIATELY.
- MAINTENANCE PLAN ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION
- NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. 2. ALL CONSTRUCTION ENTRANCES WILL BE PERIODICALLY TOP DRESSED WITH AN ADDITIONAL 2 INCHES
- OF #4 STONE TO MAINTAIN PROPER DEPTH. ANY SEDIMENT THAT IS TRACKED INTO THE STREET WILL BE IMMEDIATELY REMOVED.
- SEDIMENT FENCE SEDIMENT WILL BE REMOVED BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FEET DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. SILT FENCE STAKES WILL BE SPACED 6 FEET APART UNLESS A WIRE BACKING IS USED WITH 8 FOOT STAKE SPACING.
- 4. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- INLET PROTECTION INSPECT INLET PROTECTION AT LEAST ONCE A WEEK AND AFTER EACH SIGNIFICANT (¹/₂ INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.
- SEDIMENT BASIN/SEDIMENT TRAPS REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN IT ACCUMULATES TO WITHIN ONE HALF OF THE DESIGN DEPTH. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BAFFLES WILL BE REPAIRED OR REPLACED PROMPTLY IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. SEDIMENT WILL BE REMOVED FROM BAFFLES WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN. PLACE SEDIMENT IN AN AREA WITH SEDIMENT CONTROLS. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, PIPING, AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE RISER AND POOL AREA.
- SKIMMER INSPECT SKIMMER AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL TO MAKE SURE THAT THE INTAKE MECHANISM, ORIFICE, OR DISCHARGE PIPE IS NOT CLOGGED WITH TRASH OR SEDIMENT. IF THE BASIN IS DRY, MAKE SURE THAT ANY VEGETATION GROWING ON THE BOTTOM IS NOT HOLDING THE SKIMMER DOWN. TAKE SPECIAL PRECAUTION IN WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.
- OUTLET PROTECTION INSPECT RIP RAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (2) INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE
- EMERGENCY SPILLWAY / FOREBAY PROTECTION AFTER EVERY HIGH-WATER EVENT INSPECT THE INTEGRITY OF THE LINED SPILLWAY AND THE ADJACENT EARTHENED BANKS. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE. REPAIR ANY VOIDS IN THE RIP RAP LINED APRONS. RE-ESTABLISH ANY LOOSE STONES, AND FIX GAPS IN THE ADJACENT VEGETATIVE COVER.
- TEMPORARY SEDIMENT FENCE OUTLET INSPECT SEDIMENT CONTROL FENCE ON A REGULAR BASIS AND 10. AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE AND REPLACE CLOGGED SEDIMENT STONE. INSTALL ADDITIONAL POSTS OR WIRE IF FENCE IS SAGGING.
- 11. COMPOST SOCK INSPECT COMPOST SOCKS WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT (1/2 INCH OR GREATER). REMOVE ACCUMULATED SEDIMENT AND ANY DEBRIS. THE COMPOST SOCK MUST BE REPLACED IF CLOGGED OR TORN. IF PONDING BECOMES EXCESSIVE, THE SOCK MAY NEED TO BE REPLACED WITH A LARGER DIAMETER OR A DIFFERENT MEASURE. THE SOCK NEEDS TO BE REINSTALLED IF UNDERMINED OR DISLODGED. THE COMPOST SOCK SHALL BE INSPECTED UNTIL LAND

DISTURBANCE IS COMPLETE AND THE AREA ABOVE THE MEASURE HAS BEEN PERMANENTLY STABILIZED

CONDITIONS ANY AREAS OUTSIDE THE PROJECT LIMITS THAT MAY INADVERTENTLY BE DAMAGED DUE TO

MAINTAIN PERMANENT AND TEMPORARY EROSION CONTROL MEASURES UNTIL FINAL INSPECTION AND

FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY

12.) WATTLE BARRIER - IT IS IMPORTANT THAT THE WATTLE BARRIERS BE KEPT CLEAN TO ALLOW WATER TO FLOW THROUGH THE NATURAL FIBERS. THE WATTLE BARRIERS CAN BECOME BLOCKED WITH DEBRIS, SEDIMENT, STRAW AND OTHER ITEMS. THE UP GRADIENT SIDE OF THE WATTLE BARRIER SHOULD BE MAINTAINED TO ALLOW THE WATER TO

FLOW THROUGH, REDUCE VELOCITY AND ALLOW SEDIMENTATION TO OCCUR. IF THE NATURAL FIBERS OF THE WATTLE BARRIER BECOME TOO SATURATED WITH DEBRIS, SEDIMENT, ETC., AND REMOVAL OF THESE ITEMS IS NOT POSSIBLE, WATTLE BARRIERS SHOULD BE REPLACED.

STAKES SHOULD BE USED TO ANCHOR THE WATTLE BARRIER ADEQUATELY TO THE GROUND TO PREVENT SCOURING AND WASHOUT DURING STORM EVENTS.

13.) CHECK DAM - INSPECT CHECK DAMS AND CHANNELS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (2) INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY CLEAN OUT SEDIMENT STRAW LIMBS OF OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED. ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS AROUND THE EDGES OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS, INSTALLING A PROTECTIVE RIPRAP LINER IN THAT PORTION OF THE CHANNEL (PRACTICE 6.31, RIPRAP-LINE AND PAVED CHANNELS). REMOVE SEDIMENT ACCUMULATED BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION, ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM, AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONES TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.

14.) TEMPORARY DIVERSION DITCHES - INSPECT DITCHES WEEKLY AND AFTER EVERY RAINFALL EVENT, REPAIR IMMEDIATELY AS NECESSARY. INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY.

15.) PERMANENT SWALES - INSPECT SWALES WEEKLY AND AFTER EVERY RAINFALL EVENT, REPAIR IMMEDIATELY AS NECESSARY. INSPECT THE CHANNEL OUTLET AND ALL ROAD CROSSINGS FOR BANK STABILITY AND EVIDENCE OF PIPING OR SCOUR HOLES. REMOVE ALL SIGNIFICANT SEDIMENT ACCUMULATIONS TO MAINTAIN THE DESIGNED CARRYING CAPACITY.

16.) ROCK PIPE INLET PROTECTION - INSPECT ROCK PIPE INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING. CHECK THE STRUCTURE FOR DAMAGE. ANY RIPRAP DISPLACED FROM THE STONE HORSESHOE MUST BE REPLACED IMMEDIATELY.

GENERAL UTILITY NOTES

ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF WILMINGTON REQUIREMENTS AS SPECIFIED ON THE DRAWINGS AND IN THE PROJECT SPECIFICATIONS.

BEDDING FOR ALL STORM SEWER PIPE SHALL BE AS SPECIFIED ON THE DRAWINGS.

ALL STORM SEWER PIPES SHOWN AS RCP ON THE PLANS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, UNLESS INDICATED OTHERWISE ON PLANS.

LOT DRAINAGE NOTE

ALL LOTS SHALL BE GRADED AND/OR PROVIDE ROOF DRAINS TO DIRECT ALL BUA DRAINAGE TO STORMWATER CONTROL MEASURE (WET POND).

EXISTING UTILITY NOTES

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.

EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

PERMANENT SEEDING

GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
BERMUDA, HULLED BERMUDA, UNHULLED	10-20 35	MARCH - AUGUST SEPT FEB.	BY SOIL TEST
CENTIPEDE	10	MARCH - AUGUST	BY SOIL TEST (NO HIGH PH)
TALL FESCUE (COASTAL CULTIVAR RECOMMENDED)	50	MARCH - AUGUST	300 LB/AC 10-20-20 OR BY SOIL TEST
SLOPES >= 2:1 CENTIPEDE SERICEA LESPEDEZA	5 20	JAN - DEC	BY SOIL TEST

TEMPORARY SEE	DING		
GRASS TYPE	LBS/ ACRE	TIME OF SEEDING	FERTILIZER LIMESTONE
RYE GRAIN	50	OCT APR.	400 LBS/AC. 10-20-20
SWEET SUDAN GRASS	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
GERMAN or BROWNTOP MILLET	50	JUNE - AUGUST	400 LBS/AC. 10-20-20
STRAW MULCH AS NEEDED	4,000		

*IN THE EVENT THAT THE GOVERNING AGENCIES TIMEFRAME FOR STABILIZATION VARY, CONTRACTOR SHALL MEET THE MORE STRINGENT REQUIREMENT.

NPDES WATER QUALITY STABILIZATION TIME FRAMES									
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS							
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE							
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE							
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED							
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH							
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES							

NEW HANOVER COUNTY LAND QUALITY STABILIZATION TIME FRAME NOTE: DENUDED AREAS MUST BE STABILIZED WITH FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITHIN TWENTY-ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.

NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS

2. DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE.

3. EARTHEN-MATERIALS STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE

4. CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.

SAME WEEKLY INSPECTION REQUIREMENTS.

SAME RAIN GAUGE & INSPECTIONS AFTER 0.5" RAIN EVENT. INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS"

INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.

ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.

NPDES SEDIMENT BASINS 1. OUTLET STRUCTURES MUST WITHDRAW FROM BASIN SURFACE UNLESS DRAINAGE AREA IS LESS THAN 1

2. USE ONLY DWQ-APPROVED FLOCULANTS.

THE COUNTY CODE.

NPDES - SPECIFIC PLAN SHEETS NOTES: THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000 THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY

THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL

STORMWATER PERMIT NCG010000 4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THE NPDES PORTION OF THIS PAGE OF THE PLANS AND THEY ARE NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER NC ACCESSIBILITY NOTES:

1. SPECIAL ATTENTION SHALL BE GIVEN TO COMPLIANCE WITH AME (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/AI LOCAL LAWS & REGULATIONS.

2. IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS PARAMOUNTE ENGINEERING, INC. (PEI) HAS DEVELOPED THESE NOTES AND DETAILS TO ASSURE THAT CONTRACTORS ARE AWARE OF THE REQUIREMENTS AT THE POINT IN TIME WHEN THEY ARE BIDDING THE PROJECT. IN ADDITION, PEI HAS MADE A POINT IN THESE NOTES AND DETAILS. AS WELL AS IN OUR DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ANSI A117.1 AND APPLICABLE LOCAL LAWS & REGULATIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER

IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK. 3. THE CONTRACTOR SHALL NOTIFY PEI IMMEDIATELY OF ANY CONFLICT BETWEEN THESE NOTES AND DETAILS AND OTHER PROJECT DRAWINGS, WHETHER BY PEI OR OTHERS. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK FOR WHICH THE ALLEGED CONFLICT HAS BEEN DISCOVERED LINTIL SLICH ALLEGED CONFLICT HAS BEEN RESOLVED. NO CLAIM SHALL BE MADE BY THE CONTRACTOR FOR DELAY OR DAMAGES AS A RESULT OF RESOLUTION OF ANY SUCH CONFLICT(S)

REQUIREMENTS ONLY. REFER TO SIDEWALK, CURBING, AND PAVEMENT DETAILS FOR ADDITIONAL INFORMATION.

ACCESSIBLE ROUTE NOTES:

1 AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES: PUBLIC STREETS OR SIDEWALKS AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY

2, AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS. ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE

3. WALKING SURFACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5.0% AND A MAXIMUM CROSS SLOPE OF 2.0%.

GREATER THAN 5.0% IS A RAMP AND SHALL COMPLY WITH THE GUIDELINES FOR RAMPS OR CURB

FREE OF ABRUPT VERTICAL CHANGES (1/4 INCH MAXIMUM VERTICAL CHANGE IN LEVEL PERMITTED). 6. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.

7. THE MINIMUM CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES SHALL BE FOURTY-EIGHT (48) INCHES MINIMUM MEASURED BETWEEN HANDRAILS WHERE HANDRAILS ARE PROVIDED (NC BUILDING CODE 1104.1 & 1104.2).

8. WHERE AN ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN OBJECT THAT IS LESS THAN FORTY-EIGHT (48) INCHES IN WIDTH, CLEAR WIDTH SHALL BE FORTY-TWO (42) INCHES MINIMUM APPROACHING THE TURN, FORTY-EIGHT (48) INCHES MINIMUM DURING THE TURN, AND FORTY-TWO (42) INCHES MINIMUM LEAVING THE TURN. THE CLEAR WIDTH APPROACHING AND LEAVING THE TURN MAY BE THIRTY-SIX (36) INCHES MINIMUM WHEN THE CLEAR WIDTH AT THE TURN IS SIXTY (60) INCHES MINIMUM, * SEE NOTE 7 ABOVE FOR NC CLEAR WIDTH OF EXTERIOR ACCESSIBLE ROUTES*

9. AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN SIXTY (60) INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF TWO HUNDRED (200) FEET MAXIMUM. PASSING SPACES SHAL BE EITHER A SIXTY (60) INCH MINIMUM BY SIXTY (60) INCH MINIMUM SPACE: OR AN INTERSECTION OF TWO (2) WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE, PROVIDED THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND FORTY-EIGHT (48) INCHES MINIMUM BEYOND THE INTERSECTION.

10. DOORS, DOORWAYS AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NORTH CAROLINA BUILDING CODE/ ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS. 11. DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE BUILDING

ENTRANCE SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES 12. WHERE POSSIBLE, DRAINAGE INLETS SHALL NOT BE LOCATED ON AN ACCESSIBLE ROUTE. IN

RAMP NOTES:

CURB RAMP NOTES:

SLOPE SHALL BE 2.0%.

ANY FLARED SIDES

IN THE RAMP AREA.

INCHES MINIMUM WIDE (1104.1 & 1104.2).*

ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.

14. CURB RAMP TYPE AND LOCATION ARE PER PLAN.

NCDENR PWSS WATER PERMIT

WATER CAPACIT

SEWER CAPACIT

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE

DWQ SEWER PERMIT

SEWER SHED # AND PLAN

SIDEWALK AND NOT ON THE SIDEWALK.

1. ANY PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% SHALL BE CONSIDERED A RAMP.

2. THE MAXIMUM RUNNING SLOPE FOR A RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.

CODE 1104.1). WHERE HANDRAILS ARE PROVIDED ON THE RAMP RUN, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS. 4. THE RISE FOR ANY RAMP RUN SHALL BE THIRTY (30) INCHES MAXIMUM

5. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2.0% IN ANY DIRECTION. THE LANDING CLEAR WIDTH SHALL BE AT SHALL BE SIXTY (60) INCHES LONG MINIMUM. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT

6. RAMP RUNS WITH A RISE GREATER THAN SIX (6) INCHES SHALL HAVE HANDRAILS ON BOTH SIDES COMPLYING WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS.

8. EDGE PROTECTION COMPLYING WITH AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS),

PROVIDED ON EACH SIDE OF RAMP RUNS AND ON EACH SIDE OF RAMP LANDINGS. 9 WHERE DOORWAYS ARE LOCATED ADJACENT TO A RAMP LANDING MANEUVERING CLEARANCES

REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), THE NC BUILDING CODE/ANSI A117.1 SHALL BE PERMITTED TO OVERLAP THE REQUIRED LANDING AREA. WHERE DOORS THAT ARE SUBJECT TO LOCKING ARE ADJACENT TO A RAMP LANDING, LANDINGS SHALL BE SIZED TO PROVIDE A COMPLIANT TURNING SPACE.

3 THE CLEAR WIDTH OF A CURB RAMP SHALL BE 36 INCHES (36) MINIMUM EXCLUSIVE OF FLARED

ERICANS WITH DISABILITIES ACT	Г
NSI A117.1, AND APPLICABLE	

4. THESE ACCESSIBILITY NOTES AND DETAILS ARE INTENDED TO DEPICT SLOPE AND DIMENSIONAL

4. ANY WALKING SURFACE THAT IS PART OF AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE

5. TRANSITIONS BETWEEN RAMPS, WALKS, LANDINGS, GUTTERS OR STREETS SHALL BE FLUSH AND

THE EVENT THAT A DRAINAGE INLET MUST BE LOCATED ON AN ACCESSIBLE ROUTE, THE GRATI SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS), A117.1, THE NC BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS

3. THE CLEAR WIDTH OF AN EXTERIOR RAMP RUN SHALL BE FORTY EIGHT INCHES (NC BUILDING

LANDINGS SHALL HAVE A CLEAR LANDING OF SIXTY (60) INCHES BY SIXTY (60) INCHES MINIMUM.

7 .FLOOR SURFACES OF RAMPS AND LANDINGS SHALL BE STABLE, FIRM AND SLIP RESISTANT.

THE NC BUILDING CODE/ANSI A117.1, AND APPLICABLE LOCAL LAWS & REGULATIONS SHALL BE

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS

2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO HE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMPS TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL

SIDES, IF PROVIDED. *NOTE NC BUILDING CODE REQUIRES EXTERIOR ACCESSIBLE ROUTES TO BE 48 4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMPS. THE CLEAR LENGTH OF THE

LANDING SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP. EXCLUDING FLARED SIDES, LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.

5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES. 6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%.

7. CURB RAMPS AND THE FLARED SIDES OF CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING

8. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED

9. IT IS RECOMMENDED TO PROVIDE CURB RAMPS WITH A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH 406.12 A117.1, EXTENDING THE FULL WIDTH OF THE RAME REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES. THE NC BUILDING CODE DOES NOT CURRENTLY REQUIRE DETECTABLE WARNINGS AT CURB RAMPS, NOR DO THE 2010 ADA STANDARDS - HOWEVER US DOT ADA REGULATIONS DO REQUIRE THESE.

10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, ½ INCH WIDE BY ¼ INCH DEEP,

11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP. 12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE

13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT

For each open utility cut of City streets, a \$325 permit
shall be required from the City prior to occupancy and/or project acceptance.
GPD
GPD

NC ACCESSIBILITY NOTES (CONT.):

PARKING SPACE NOTES: 1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.

2. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.

3. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.

4. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.

5. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE. 6. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.

7. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.

8. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED. 9. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING

2.0% IN ALL DIRECTIONS. 10. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.

11. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.

12. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE INSTALLED AT A MINIMUM CLEAR HEIGHT OF SIXTY (60) INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED WITH BOLLARD PROTECTION.

13. SIGNAGE AT ACCESSIBLE PARKING SPACES REQUIRED BY THE NC BUILDING CODE SECTION 1106.1SHALL COMPLY WITH THE REQUIREMENTS OF NORTH CAROLINA GENERAL STATUTE 20-37.6 AND 136-30 AND THE NCDOT UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES, A SEPARATE SIGN IS REQUIRED FOR EACH SPACE. SIGNS TO INDICATE THE MAXIMUM PENALTY MUST BE PROVIDED AT EACH ACCESSIBLE SPACE.

14. ACCESSIBLE PARKING SPACE, ACCESS AISLE STRIPING, AND INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED BLUE (OR ANOTHER COLOR THAT CAN BE DISTINGUISHED FROM PAVEMENT). PASSENGER LOADING ZONE NOTES:

1. PASSENGER LOADING ZONES SHALL PROVIDE VEHICULAR PULL-UP SPACE NINETY-SIX (96) INCHES WIDE MINIMUM AND TWENTY (20) FEET LONG MINIMUM.

2. PASSENGER LOADING ZONES SHALL PROVIDE A CLEARLY MARKED ACCESS AISLE THAT IS SIXTY (60) INCHES WIDE MINIMUM AND EXTENDS THE FULL LENGTH OF THE VEHICLE PULL-UP SPACE THEY

3. ACCESS AISLE SHALL ADJOIN AN ACCESSIBLE ROUTE AND NOT OVERLAP THE VEHICULAR WAY. 4. VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE PULL-UP SPACE THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED. 5. FLOOR SURFACES OF VEHICLE PULL-UP SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT.

6.VEHICLE PULL-UP SPACES, ACCESS AISLES SERVING THEM AND A VEHICULAR ROUTE FROM AN ENTRANCE TO THE PASSENGER LOADING ZONE, AND FROM THE PASSENGER LOADING ZONE TO A VEHICULAR EXIT SERVING THEM, SHALL PROVIDE A VERTICAL CLEARANCE OF ONE HUNDRED FOURTEEN (114) INCHES MINIMUM.

ACCESSIBLE ENTRANCE NOTES:

1. ACCESSIBLE ENTRANCES SHALL BE PROVIDED AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) AND THE NORTH CAROLINA BUILDING CODE, AND APPLICABLE LOCAL LAWS & REGULATIONS.

2. ENTRANCE DOORS, DOORWAYS AND GATES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (2010 ADA STANDARDS) THE NC BUILDING CODE/ANSI A117.1 AND SHALL BE ON AN ACCESSIBLE ROUTE.

FIRE AND LIFE SAFETY NOTES

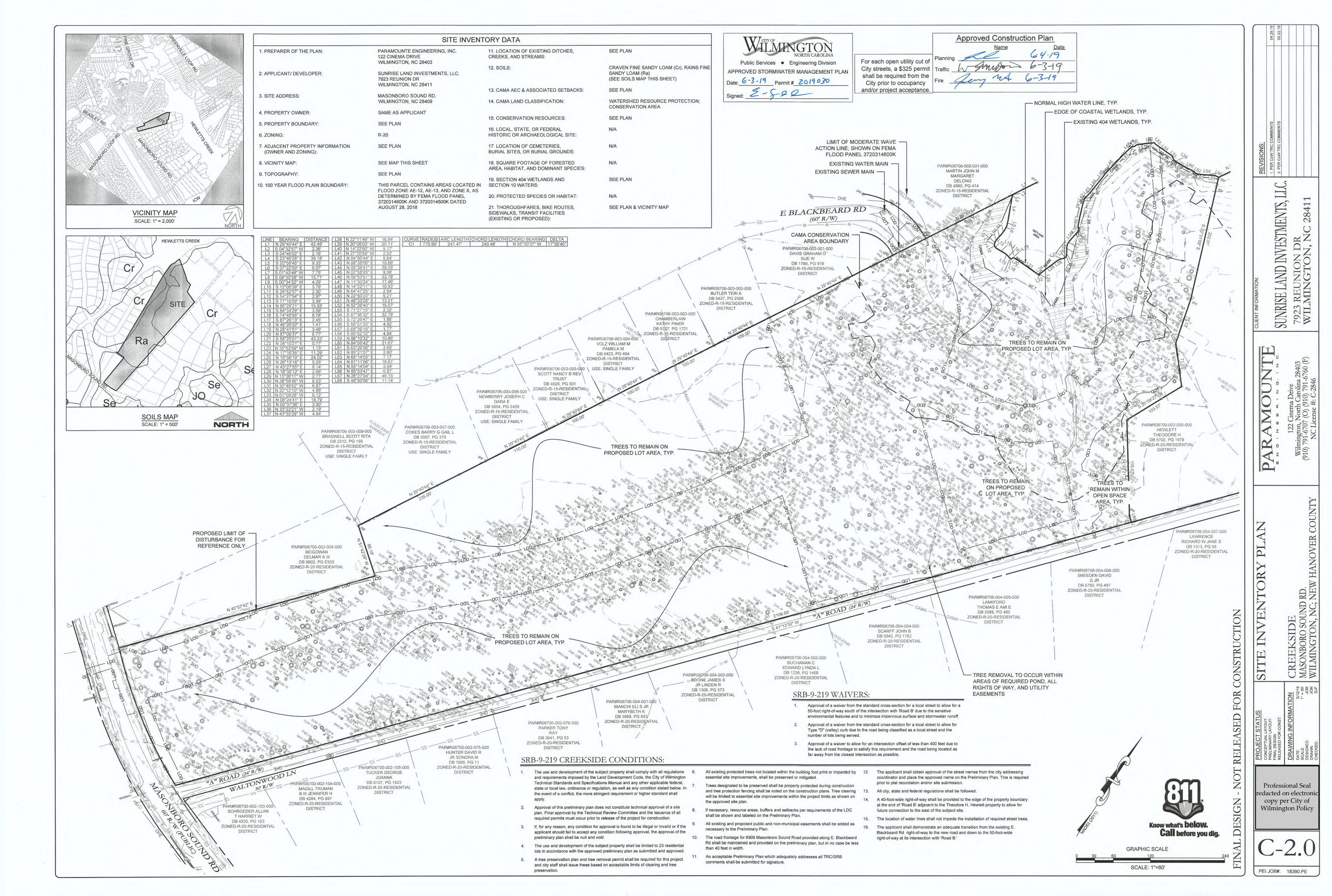
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING
- CONSTRUCTION. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRAN IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.

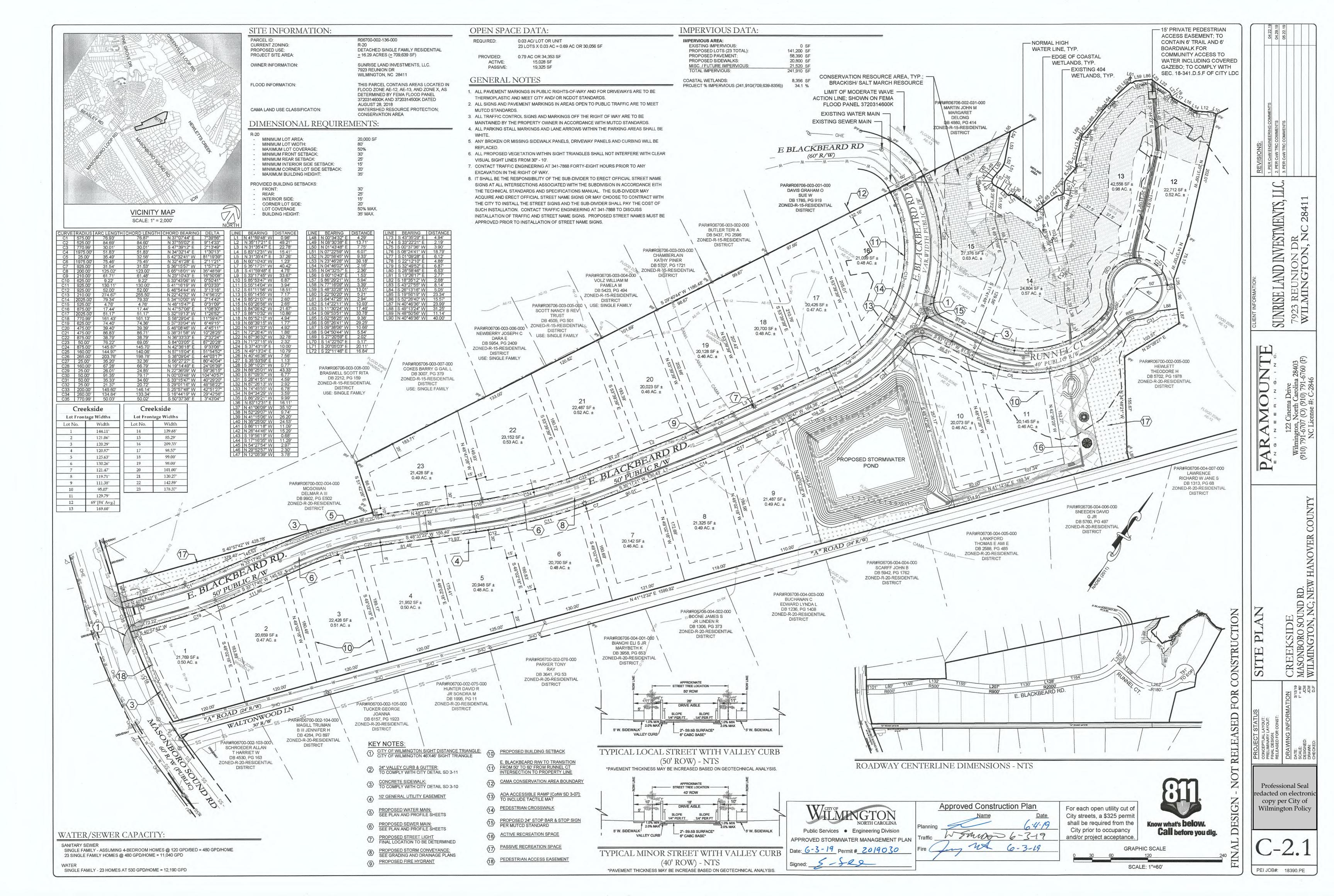
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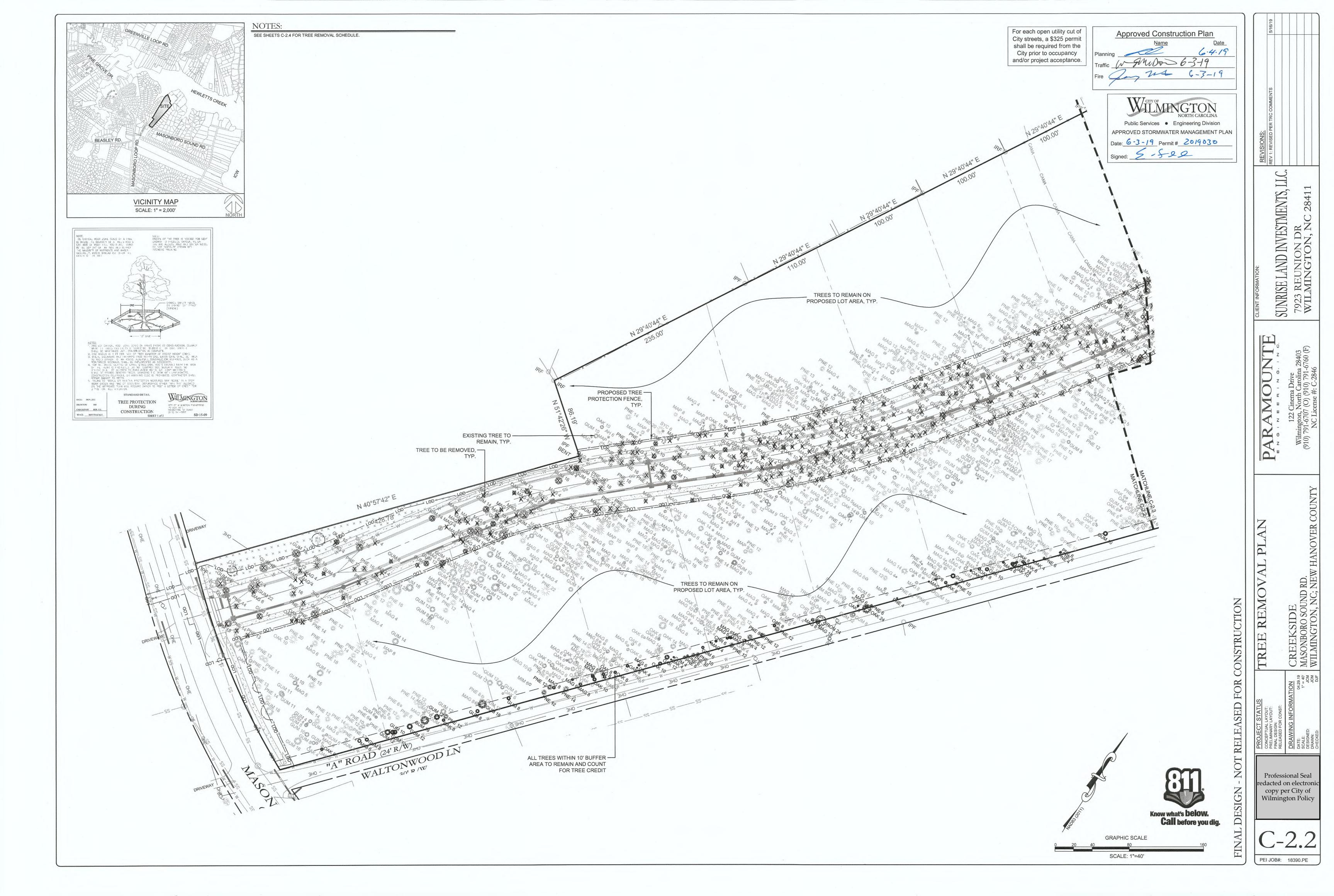
Engineering Division APPROVED STORMWATER MANAGEMENT PLAN Date: 6-3-19 Permit # 2019030 Approved Construction Plan

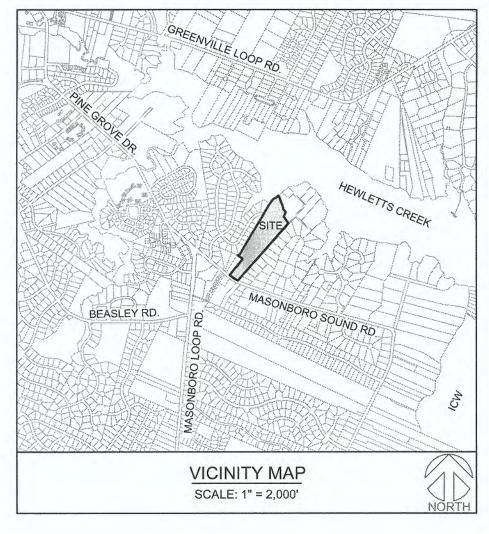
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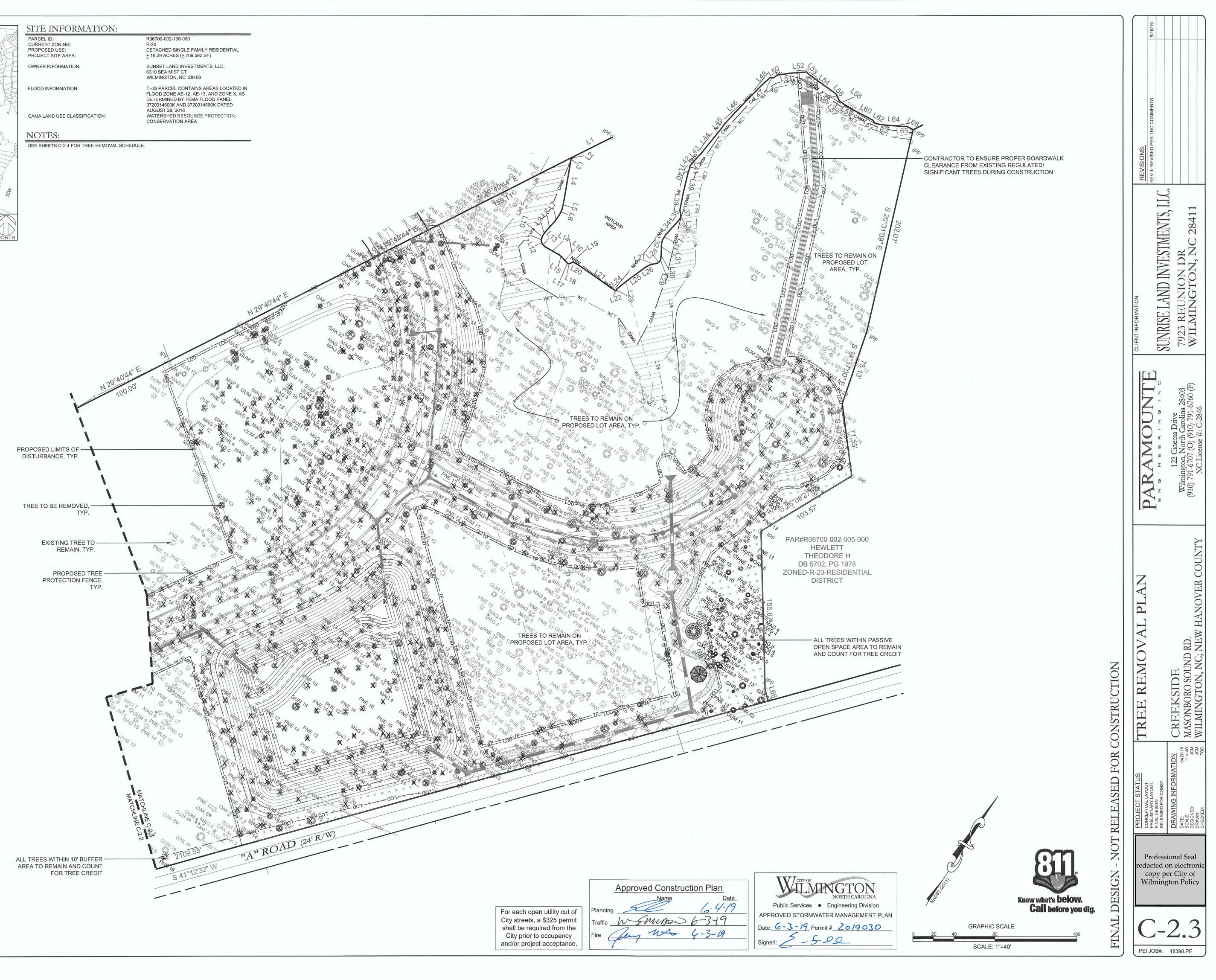
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REVISIONS:	1. PER NHC ENGINEERING COMMENTS	2. PER CoW ENGINEERING COMMENTS	3. PER CoW TRC COMMENTS				
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GENERAL NOTES				LEKNIDE	MASONIBORO SOLIND RD	TAINTON OUT AT ATTAIN TAINTON OUT ATTAIN	WILMINGION, NC; NEW HANOVEK COUNTY
U			t C	LCK	MA	TITAT	3
PROJECT STATUS CONCEPTUAL LAYOUT:		RELEASED FOR CONST:	DPAMING INFORMATION		SCALE: 03.12.19 MA		CHECKED: DJF W.
D D D D D D D D D D D D D D D D D D D	pout final pesicar	RELEASED FOR	sion	na el Ci	DATE: 03.12.19 ScALE: 03.12.19	eal of	CHECKED











					Creekside T	Free Remova	al & Required Miti	gation					Category 2 (75%	Mitigation)						
	Caliper	In	dividua	al Trunk		The second se	provident of the second state of the	1		1	Essential Site	Total Qty. of	19 15	8 8	GUM (SWEET GUM)	hardwood hardwood	152 135	75%	Roadway Roadway	<u> </u>
y of Trees	Inches*) Individual Trunks	Tree Common Name	Classification	Total Cal. Inches to be Removed	% Mitigation	Significant	Location	Improvements	Mitigation	11	10 10	GUM (SWEET GUM)	hardwood	110	75%	Roadway	<u> </u>
te: * All li	sted as tota				ire tree cluster or single tree tr	unk caliper in co	l ompliance with City of V	I Vilmington La	I nd Develop	l ment Code d	l efinition for " dia	Trees Required	17	11 11	GUM (SWEET GUM)	hardwood	187	75%	Roadway	y
east heigh		ar curry		ines for ene	ine thee chaster of single thee th	unik cumper in ex	simplication man only of t	in the second	in Dereiep	inent coue u	cinicioni or un		14	12 12	 GUM (SWEET GUM)	hardwood	168	75%	Roadway	<u> </u>
sential Sit	e Improver	ments	: It is a	anticipated	that all trees will be removed f	for essential site	e improvements, so onl	ly significant tr	rees require	mitigation			4	13 13 14 14	GUM (SWEET GUM) GUM (SWEET GUM)	hardwood hardwood	52 112	75%	Roadway Roadway	<u> </u>
					R	REGULATED & SI	GNIFICANT TREES						10	15 15	GUM (SWEET GUM)	hardwood	150	75%	Roadway	y }
tegory 1 (1	100% Mitiga	ation)				handmand	24	100%	1	Deadhurau			3	16 16	GUM (SWEET GUM)	hardwood	48	75%	Roadway	y
6	4	4			AH (AMERICAN HOLLY) AH (AMERICAN HOLLY)	hardwood hardwood	24	100%		Roadway Roadway	yes yes		3	17 17	GUM (SWEET GUM)	hardwood	51	75%	Roadway	у
2	6	6			AH (AMERICAN HOLLY)	hardwood	6	100%		Roadway	yes		4	18 18 19 19	 GUM (SWEET GUM)	hardwood	72 19	75%	Roadway	<u> </u>
1	7	8			AH (AMERICAN HOLLY)	hardwood	7	100%		Roadway	yes		6	20 20	GUM (SWEET GUM)	hardwood hardwood	19	75%	Roadway Roadway	<u> </u>
87	4	4			MAG (SOUTHERN MAGNOLIA)	flowering	348	100%		Roadway	yes		1	22 20	GUM (SWEET GUM)	hardwood	22	75%	Roadway)
56	5	5			MAG (SOUTHERN MAGNOLIA)	flowering	280	100%		Roadway	yes		1	24 24	GUM (SWEET GUM)	hardwood	24	75%	yes Roadway	}
40	5	6			MAG (SOUTHERN MAGNOLIA) MAG (SOUTHERN MAGNOLIA)	flowering flowering	240 126	100%		Roadway Roadway	yes yes		1	28 28	 GUM (SWEET GUM)	hardwood	28	75%	yes Roadway	у
3	9	9			MAG (SOUTHERN MAGNOLIA)	flowering	27	100%	yes	Roadway	yes	18	15	8 8	 GUM (SWEET GUM) GUM (SWEET GUM)	hardwood	9	75%	Grading	<u> </u>
5	10	10			MAG (SOUTHERN MAGNOLIA)	flowering	50	100%	yes	Roadway	yes	33	7	10 10	GUM (SWEET GUM)	hardwood hardwood	70	75%	Grading Grading	y
2		11			MAG (SOUTHERN MAGNOLIA)	flowering	22	100%	yes	Roadway	yes	15	1	11 11	GUM (SWEET GUM)	hardwood	11	75%	Grading	,
3		12			MAG (SOUTHERN MAGNOLIA)	flowering	36	100%	yes	Roadway	yes	24	3	12 12	GUM (SWEET GUM)	hardwood	36	75%	Grading)
1	13				MAG (SOUTHERN MAGNOLIA)	flowering	13	100%	yes	Roadway	yes	9	3	13 13	GUM (SWEET GUM)	hardwood	39	75%	Grading	y
4	. 14	14			MAG (SOUTHERN MAGNOLIA) MAP (RED MAPLE)	flowering hardwood	14 32	100%	yes	Roadway Roadway	yes yes	3	4	14 14 15 15	GUM (SWEET GUM) GUM (SWEET GUM)	hardwood	56	75%	Grading	<u> </u>
1	. 9	9			MAP (RED MAPLE)	hardwood	9	100%		Roadway	yes		2	18 18	GUM (SWEET GUM)	hardwood hardwood	<u>15</u> 36	75%	Grading Grading)
3	10	10			MAP (RED MAPLE)	hardwood	30	100%		Roadway	yes		8	8 8	GUM (SWEET GUM)	hardwood	64	75%	Stormwater	,
1	. 11	11			MAP (RED MAPLE)	hardwood	11	100%		Roadway	yes		3	9 9	GUM (SWEET GUM)	hardwood	27	75%	Stormwater	Y
1	. 12	12			MAP (RED MAPLE) MAP (RED MAPLE)	hardwood hardwood	12	100%		Roadway Roadway	yes yes		4	10 10	 GUM (SWEET GUM)	hardwood	40	75%	Stormwater	у
6	12	12			OAK (WATER OAK)	hardwood	72	100%		Roadway	yes		3	11 11 12 12	 GUM (SWEET GUM) GUM (SWEET GUM)	hardwood hardwood	33 84	75%	Stormwater Stormwater	<u>y</u>
4	13	13			OAK (WATER OAK)	hardwood	52	100%		Roadway	yes		4	13 13	GUM (SWEET GUM)	hardwood	52	75%	Stormwater)
6	5 18	18			OAK (WATER OAK)	hardwood	108	100%		Roadway	yes		6	14 14	GUM (SWEET GUM)	hardwood	84	75%	Stormwater	,
3	12	12			OAK (WATER OAK)	hardwood	36	100%		Roadway	yes		1	15 15	GUM (SWEET GUM)	hardwood	15	75%	Stormwater)
1	. 13	13			OAK (WATER OAK)	hardwood	13	100%		Roadway	yes		1	16 16	GUM (SWEET GUM)	hardwood	16	75%	Stormwater	}
1	. 18	18			OAK (WATER OAK) MAG (SOUTHERN MAGNOLIA)	hardwood flowering	18 76	100%		Roadway Grading	yes yes		3	18 18	GUM (SWEET GUM)	hardwood	54	75%	Stormwater	y
6	5 5	5			MAG (SOUTHERN MAGNOLIA)	flowering	30	100%		Grading	yes		L		 Total Category	Total Category 2 Signi 2 Regulated Trees To Bo	the second se	and the second se		
22	6	6			MAG (SOUTHERN MAGNOLIA)	flowering	132	100%		Grading	yes				Total Category	z Regulated frees to be	e Removed with Es	sential site imp	novements.	
6	5 7	7			MAG (SOUTHERN MAGNOLIA)	flowering	42	100%		Grading	yes		Category 3 (50%	Mitigation)	 					
3	8	8			MAG (SOUTHERN MAGNOLIA)	flowering	24	100%	yes	Grading	yes	16	1	5 5	CHR (BLACK CHERRY)	flowering	5	50%	Roadway	
2	10	10	-		MAG (SOUTHERN MAGNOLIA) MAG (SOUTHERN MAGNOLIA)	flowering	20 11	100%	yes yes	Grading Grading	yes yes	13	3	7 7	CHR (BLACK CHERRY)	flowering	21	50%	Roadway	
1		12			MAG (SOUTHERN MAGNOLIA)	flowering	12	100%	ves	Grading	yes	8	81	12 12	PNE (LOBLOLLY)	conifer	972	50%	Roadway	
1	. 14	14			MAG (SOUTHERN MAGNOLIA)	flowering	14	100%	yes	Grading	yes	9	35	13 13	PNE (LOBLOLLY)	conifer	455	50%	Roadway	
3	8 8	8			MAP (RED MAPLE)	hardwood	24	100%		Grading	yes		39	14 14	PNE (LOBLOLLY)	conifer	546	50%	Roadway	
1	. 9	9	_		MAP (RED MAPLE)	hardwood	9	100%		Grading	yes		18	15 15	PNE (LOBLOLLY) PNE (LOBLOLLY)	conifer conifer	270	50%	Roadway	
1	. 16	16			MAP (RED MAPLE) OAK (WATER OAK)	hardwood hardwood	16 16	100%		Grading Grading	yes yes		9	17 17	PNE (LOBLOLLY)	conifer	153	50%	Roadway Roadway	
1	9	9			OAK (WATER OAK)	hardwood	9	100%		Grading	yes		14	18 18	PNE (LOBLOLLY)	conifer	252	50%	Roadway	
1	. 11	11			OAK (WATER OAK)	hardwood	11	100%		Grading	yes		3	19 19	PNE (LOBLOLLY)	conifer	57	50%	Roadway	
2	12	12			OAK (WATER OAK)	hardwood	24	100%		Grading	yes		2	20 20	PNE (LOBLOLLY)	conifer	40	50%	Roadway	
1	. 14	14			OAK (WATER OAK)	hardwood	14	100%		Grading	yes		1	21 21	PNE (LOBLOLLY)	conifer	21	50%	Roadway	
1		18	_			hardwood	18	100%		Grading	yes		9	12 12	PNE (LOBLOLLY)	conifer	108	50%	Grading	
19		24			OAK (WATER OAK) MAG (SOUTHERN MAGNOLIA)	hardwood flowering	22 76	100%		Grading Stormwater	yes r yes		12	13 13 14 14	PNE (LOBLOLLY) PNE (LOBLOLLY)	conifer conifer	52 168	50%	Grading	
19	7 5	5			MAG (SOUTHERN MAGNOLIA)	flowering	35	100%		Stormwater			2	15 15	PNE (LOBLOLLY)	conifer	30	50%	Grading	
9	6	6			MAG (SOUTHERN MAGNOLIA)	flowering	54	100%		Stormwater			3	16 16	PNE (LOBLOLLY)	conifer	48	50%	Grading	
3	3 7	7			MAG (SOUTHERN MAGNOLIA)	flowering	21	100%		Stormwater	r yes		1	17 17	PNE (LOBLOLLY)	conifer	17	50%	Grading	
1	10	10			MAG (SOUTHERN MAGNOLIA)	flowering	10	100%	yes	Stormwater	r yes	7	4	18 18	PNE (LOBLOLLY)	conifer	72	50%	Grading	
1	13	13	-		MAG (SOUTHERN MAGNOLIA)	flowering	13	100%	yes	Stormwater	r yes	9	2	20 20	PNE (LOBLOLLY)	conifer	40	50%	Grading	
1	8	8			MAP (RED MAPLE) MAP (RED MAPLE)	hardwood hardwood	9	100%		Stormwate Stormwate			1	21 21	PNE (LOBLOLLY)	conifer	21	50%	Grading	
1					MAP (RED MAPLE)	hardwood	10	100%		Stormwater			1	12 12	CHR (BLACK CHERRY) PNE (LOBLOLLY)	flowering conifer	576	50%	Stormwater Stormwater	
1 1 1 1		10				1		100%		Stormwater			40		PNE (LOBLOLLY)	conifer				
1 1 1 1 1	. 10	10 11			MAP (RED MAPLE)	hardwood	11	100%			100			13 13		conter	156	50%	Stormwater	
1 1 1 1 1 1	10 11 16	11 16			MAP (RED MAPLE)	hardwood	16	100%		Stormwater	r yes		29	13 13 14 14	PNE (LOBLOLLY)	conifer	156 406	50%	Stormwater Stormwater	
1 1 1 1 1 1 1 1 1	10 11 16 17	11 16 17			MAP (RED MAPLE) MAP (RED MAPLE)	hardwood hardwood	16 17	100% 100%		Stormwater Stormwater	r yes r yes		29 11				and the second			
	10 11 16 17 8	11 16 17 8			MAP (RED MAPLE) MAP (RED MAPLE) OAK (WATER OAK)	hardwood hardwood hardwood	16 17 8	100% 100% 100%		Stormwater Stormwater Stormwater	r yes r yes r yes		12 29 11 11	14 14 15 15 16 16	PNE (LOBLOLLY) PNE (LOBLOLLY) PNE (LOBLOLLY) PNE (LOBLOLLY)	conifer conifer conifer	406	50% 50% 50%	Stormwater Stormwater Stormwater	
	10 11 16 17 8 12	11 16 17			MAP (RED MAPLE) MAP (RED MAPLE)	hardwood hardwood	16 17	100% 100%		Stormwater Stormwater	r yes r yes r yes r yes		12 29 11 11 2	14 14 15 15	PNE (LOBLOLLY) PNE (LOBLOLLY)	conifer conifer	406 165	50% 50%	Stormwater Stormwater	

382

Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ŀ	Approve	ed Const	ruction	Plan
		Name		Date
Planning	A	2		6.4.19
Traffic	No Go	mo	36-	3-19
Fire	in	nt	43	-19

12	13	13	PINE (LOBLOLLY)	conifer	120	50%	13
29	14	14	PNE (LOBLOLLY)	conifer	406	50%	5
11	15	15	PNE (LOBLOLLY)	conifer	165	50%	5
11	16	16	PNE (LOBLOLLY)	conifer	176	50%	5
2	17	17	PNE (LOBLOLLY)	conifer	34	50%	9
5	18	18	PNE (LOBLOLLY)	conifer	90	50%	9
2	19	19	PNE (LOBLOLLY)	conifer	38	50%	9
3	20	20	PNE (LOBLOLLY)	conifer	60	50%	5
				Total Category 3 Signi	ficant & Regulated	d Mitigation Trees Re	equired:
	-		Total Category	3 Regulated Trees To B	e Removed with E	ssential Site Improv	ements:
				Total Qty. of Trees to	be Removed (es	sential site improve	ments):
		-		Total Q	ty. of Significant &	Regulated Tree Mit	igation:
						Total Tree	Credits:
			Tota	l Qty. of Mitigation Tree	s Required on Site	(or Pay in Lieu Equi	valent):
							A THE R PROPERTY AND A REAL PROPERTY AND ADDRESS.

tegory 3 (50%					the second second second second		
1	5	5	CHR (BLACK CHERRY)	flowering	5	50%	Roadway
3	7	7	CHR (BLACK CHERRY)	flowering	21	50%	Roadway
81	12	12	PNE (LOBLOLLY)	conifer	972	50%	Roadway
35	13	13	PNE (LOBLOLLY)	conifer	455	50%	Roadway
39	14	14	PNE (LOBLOLLY)	conifer	546	50%	Roadway
18	15	15	PNE (LOBLOLLY)	conifer	270	50%	Roadway
14	16	16	PNE (LOBLOLLY)	conifer	224	50%	Roadway
9	17	17	PNE (LOBLOLLY)	conifer	153	50%	Roadway
14	18	18	PNE (LOBLOLLY)	conifer	252	50%	Roadway
3	19	19	PNE (LOBLOLLY)	conifer	57	50%	Roadway
2	20	20	PNE (LOBLOLLY)	conifer	40	50%	Roadway
1	21	21	PNE (LOBLOLLY)	conifer	21	50%	Roadway
9	12	12	PNE (LOBLOLLY)	conifer	108	50%	Grading
4	13	13	PNE (LOBLOLLY)	conifer	52	50%	Grading
12	14	14	PNE (LOBLOLLY)	conifer	168	50%	Grading
2	15	15	PNE (LOBLOLLY)	conifer	30	50%	Grading
3	16	16	PNE (LOBLOLLY)	conifer	48	50%	Grading
1	17	17	PNE (LOBLOLLY)	conifer	17	50%	Grading
4	18	18	PNE (LOBLOLLY)	conifer	72	50%	Grading
2	20	20	PNE (LOBLOLLY)	conifer	40	50%	Grading
1	21	21	PNE (LOBLOLLY)	conifer	21	50%	Grading
1	7	7	CHR (BLACK CHERRY)	flowering	7	50%	Stormwate
48	12	12	PNE (LOBLOLLY)	conifer	576	50%	Stormwater
12	13	13	PNE (LOBLOLLY)	conifer	156	50%	Stormwater
29	14	14	PNE (LOBLOLLY)	conifer	406	50%	Stormwate
11	15	15	PNE (LOBLOLLY)	conifer	165	50%	Stormwate
11	16	16	PNE (LOBLOLLY)	conifer	176	50%	Stormwate
2	17	17	PNE (LOBLOLLY)	conifer	34	50%	Stormwate
5	18	18	PNE (LOBLOLLY)	conifer	90	50%	Stormwate
2	19	19	PNE (LOBLOLLY)	conifer	38	50%	Stormwate
3	20	20	PNE (LOBLOLLY)	conifer	60	50%	Stormwate

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yes yes yes yes 195 yes yes yes	

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ty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit	Mitigation Credit for Preserved Trees (# of trees)
		aliper inches for entir /ilmington Land Devel			
1	4	CHERRY	4	1	1
2	6	CHERRY	12	2	4
1	7	CHERRY	7	2	2
1	10	CHERRY	10	2	2
1	21	CHERRY	21	4	4
1	4	GUM	4	1	1
2	6	GUM	12	2	4
5	8	GUM	40	2	10
6	9	GUM	54	2	12
5	10	GUM	50	2	10
2	11	GUM	22	2	4
4	12	GUM	48	3	12
2	13	GUM	26	3	6
2	18	GUM	36	4	8
1	24	IRONWOOD	24	4	4
12	4	MAGNOLIA	48	1	12
4	5	MAGNOLIA	20	1	4
12	6	MAGNOLIA	72	2	24
7	8	MAGNOLIA	56	2	14
1	10	MAGNOLIA	10	2	2
1	8	MIMOSA	8	2	2
4	4	OAK	16	1	4
2	6	OAK	10	2	4
13	8	OAK	104	2	26
2	9	OAK	104	2	4
4	10	OAK	40	2	8
4	10	OAK	12	3	3
1	12	OAK	12	3	3
1	14	OAK	14	3	3
1	24	OAK	24	5 4	4
2	4	PINE	8	4 1	2
5	6	PINE	30	2	10
2	8	PINE	16	2	4
3	10	PINE	30	2	6
3 12	10	PINE	144	3	36
5	12	PINE	65	3	15
3			42	3	9
	14	PINE		3	
6	15	PINE	90		18
2	16	PINE	32	3	6
1	18	PINE	18	4	4

NOTES: SEE SHEETS C-2.2 - C-2.3 FOR TREE REMOVAL LOCATIONS.

WILMINGTON NORTH CAROLINA

Public Services

Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: 6 - 3 - 19 Permit # 2019030Signed: 5 - 5 - 22



CONSTRUCTION

OR

ASED

REI

NO

1

FIN

Know what's **below. Call before you dig.**

REV SUNRISE LAND INVESTMENTS, LLC. 7923 REUNION DR WILMINGTON, NC 28411 CLIENT INFORMATION: PARAMOUNTE E N G I N E E R I N G. I N C. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846 CREEKSIDE MASONBORO SOUND RD. WILMINGTON, NC; NEW HANOVER COUNTY AN Id REMOVAL TREE 04.29.19 1" = 40' JCM JCM Professional Seal redacted on electronic DESIGN copy per City of Wilmington Policy PEI JOB#: 18390.PE

N	O'	ΓI	ES:

- 1.) SEE GENERAL NOTES SHEET (C-1.0) FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES AND DETAILS FOR MORE INFORMATION.
- 2.) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF WILMINGTON AND NEW HANOVER COUNTY STANDARDS AND SPECIFICATIONS.
- 3.) IT IS RECOMMENDED THAT GEOTECHNICAL TESTING BE PERFORMED ON-SITE. A GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO CONFIRM SUITABILITY OF SUBGRADE MATERIAL AND PROPER COMPACTION IN FILL AREAS.
- 4.) ALL GRADE TIE-INS, ROAD CONNECTIONS, AND UTILITY CONNECTIONS SHALL BE FIELD VERIFIED TO CONFIRM THAT THE AS-BUILT CONDITIONS MATCH THE DESIGN CONDITIONS AS DEPICTED. CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER WITH ANY DISCREPANCIES.

ASPHALT AREA NOTE:

1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED SUBGRADE, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

BUILDING PAD NOTE:

1.) SITE CONTRACTOR SHALL STRIP TOPSOIL AND ANY UNSUITALBE MATERIAL AND PROVIDE CUT/FILL OPERATIONS TO PROVIDE A COMPACTED CONTROLLED BUILDING PAD, IN ACCORDANCE WITH THE SUBSURFACE GEOTECHNICAL EXPLORATION AND TECHNICAL SPECIFICATIONS.

PROPOSED CONSTRUCTION ENTRANCE [TYPICAL - SEE DETAIL]

EROSION CONTROL NOTES:

LIMITS OF DISTURBANCE = 6 ACRES

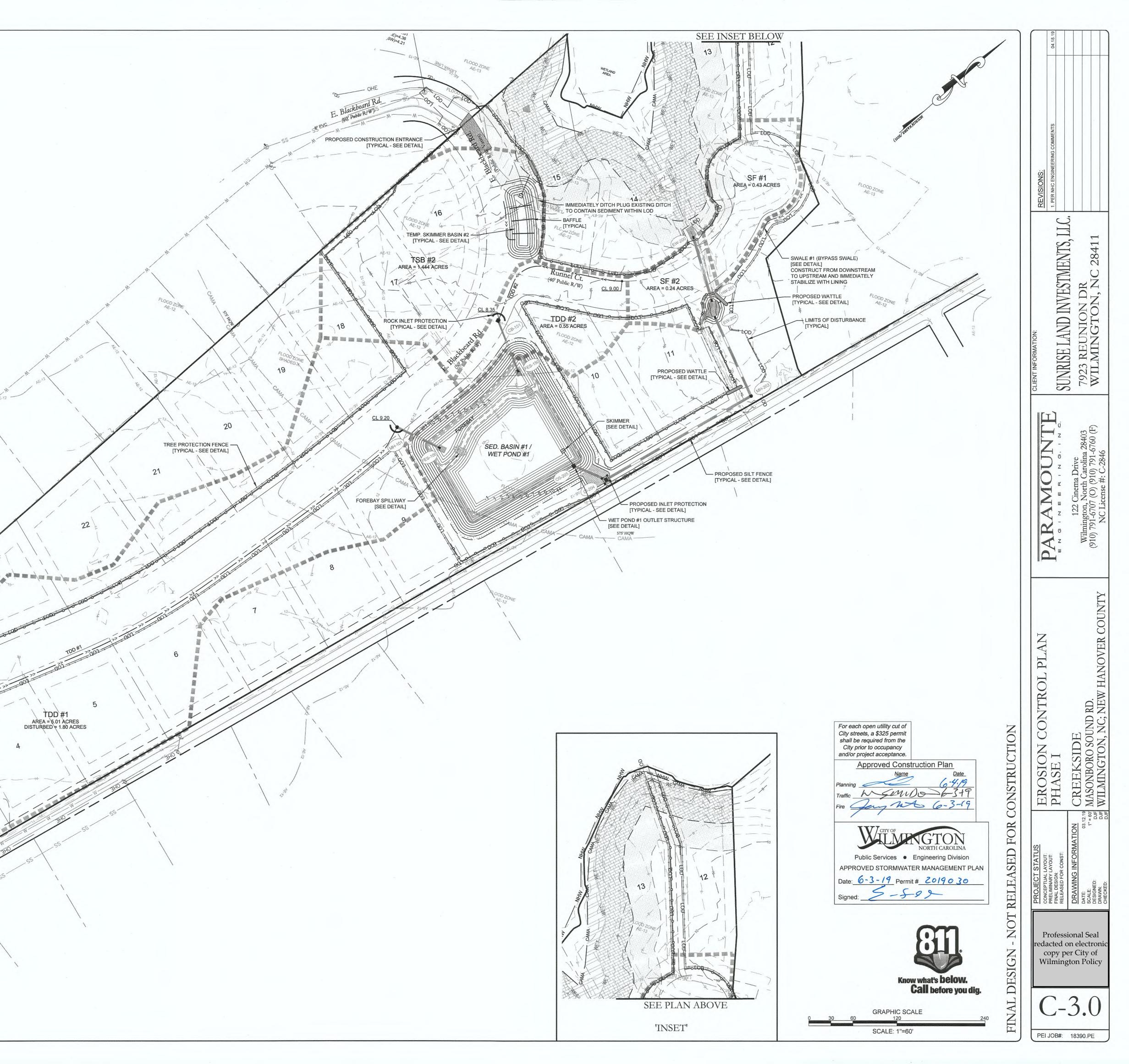
LEGEND:

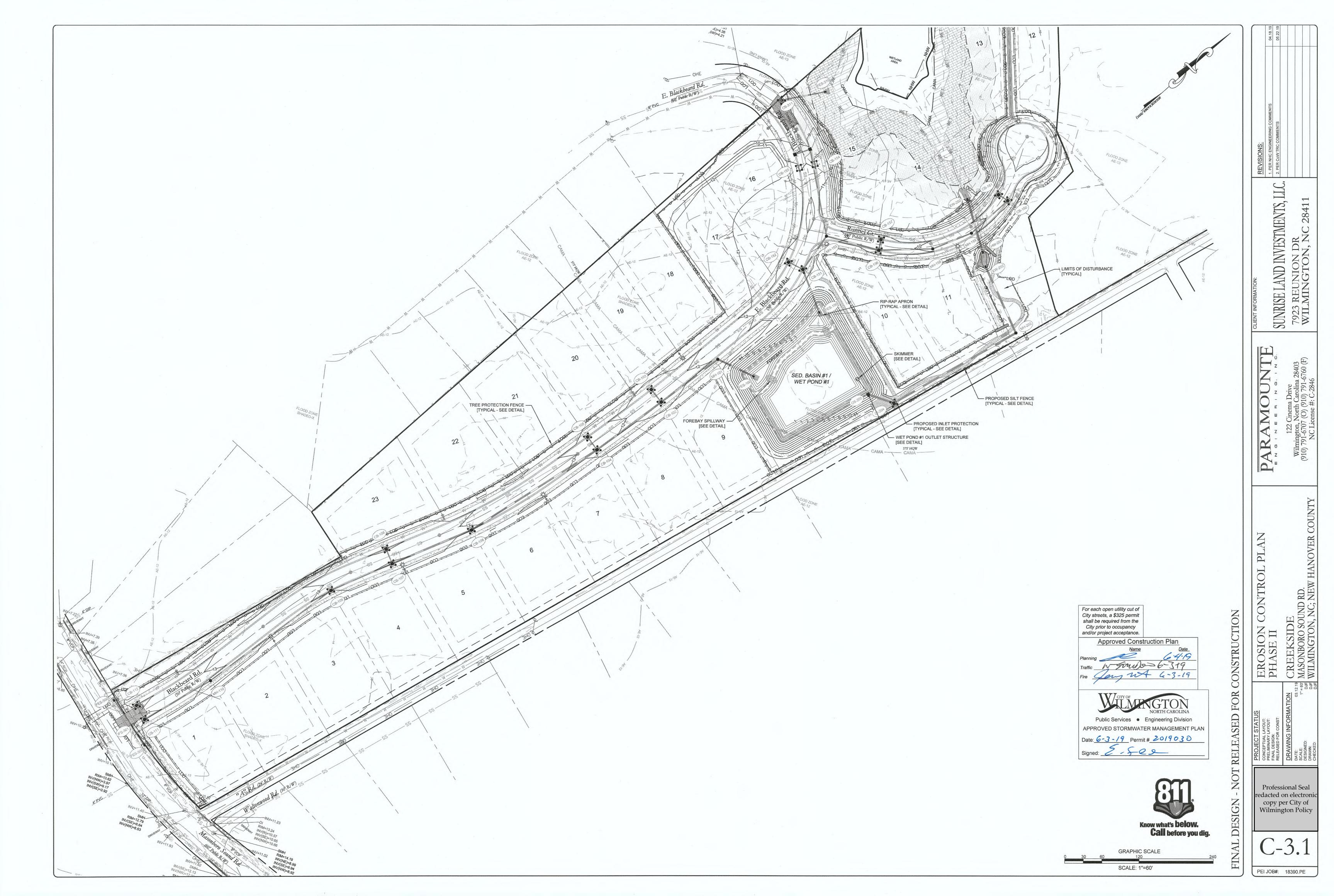
LOD LOD LOD LIMITS OF DISTURBANCE

INLET PROTECTION EROSION CONTROL DRAINAGE AREA

NCG01 NOTE:

1.) SEE SHEET C-3.2 FOR ALL REQUIRED NCG01 INFORMATION.





THE NCG01 CONSTRUC	CTION GENERAL PERMI	NDLING PRACTICES FOR COMPLIANCE WITH <u>T</u> this plan sheet will result in the construction	EQUIPMENT AND VEHICLE MAINTENANCE 1. Maintain vehicles and equipment to prevent discharge of fluids. 2. Brouide drip page under any stored equipment
activity being considered sections of the NCG01 permittee shall comply delegated authority ha	ed compliant with the G Construction General Po with the Erosion and So ving jurisdiction. All det	around Stabilization and Materials Handling ermit (Sections E and F, respectively). The ediment Control plan approved by the ails and specifications shown on this sheet ad the delegated authority having jurisdiction.	 Provide drip pans under any stored equipment. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
SECTION E: GROUND S	TABILIZATION		 Remove leaking vehicles and construction equipment from service until the problem has been corrected.
	Required Ground Stal	bilization Timeframes	6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products
Site Area Descriptio	Stabilize within th	is Timeframe variations	to a recycling or disposal center that handles these materials.
(a) Perimeter dikes, swales, ditches, a perimeter slopes	and 7	None	 Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes. Locate waste containers at least 50 feet away from storm drain inlets and surface
(b) High Quality Wat (HQW) Zones	er 7	None	 4. Locate waste containers on areas that do not receive substantial amounts of runoff
(c) Slopes steeper th 3:1	nan 7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed	from upland areas and does not drain directly to a storm drain, stream or wetland.5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
(d) Slopes 3:1 to 4:1	14	 -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed 	 Anchor all lightweight items in waste containers during times of high winds. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow. Dispose waste off-site at an approved disposal facility. On business days, clean up and dispose of waste in designated waste containers.
(e) Areas with slopes flatter than 4:1	5 14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope	 PAINT AND OTHER LIQUID WASTE Do not dump paint and other liquid waste into storm drains, streams or wetlands. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
ground stabilization sha practicable but in no ca activity. Temporary gro	all be converted to perr ase longer than 90 calen ound stabilization shall	uction activities, any areas with temporary nanent ground stabilization as soon as idar days after the last land disturbing be maintained in a manner to render the	 Contain liquid wastes in a controlled area. Containment must be labeled, sized and placed appropriately for the needs of site. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.
surface stable against a		il permanent ground stabilization is achieved.	PORTABLE TOILETS
techniques in the table Temporary S	fficiently so that rain wi below: Stabilization	ill not dislodge the soil. Use one of the Permanent Stabilization	 Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
 Temporary grass seed other mulches and tac Hydroseeding Rolled erosion control 	kifiers	Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting	 Provide staking or anchoring of portable toilets during periods of high winds or in hig foot traffic areas. Monitor portable toilets for leaking and properly dispose of any leaked material.
without temporary gra Appropriately applied	ass seed a	 Hydroseeding Shrubs or other permanent plantings covered 	Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.
 Plastic sheeting 		with mulch • Uniform and evenly distributed ground cover	EARTHEN STOCKPILE MANAGEMENT
		sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed	 Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
			2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of
1. Select flocculant		or the soils being exposed during	five feet from the toe of stockpile.3. Provide stable stone access point when feasible.
 Apply flocculants Apply flocculants 	s at or before the inlets s at the concentrations	R List of Approved PAMS/Flocculants. to Erosion and Sediment Control Measures. specified in the NC DWR List of Approved	4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is define as vegetative, physical or chemical coverage techniques that will restrain accelerate errors on a disturbed soils for temporary or permanent control needs.
		th the manufacturer's instructions. f treated Stormwater before discharging	erosion on disturbed soils for temporary or permanent control needs.
	in leak-proof container	rs that are kept under storm-resistant cover	

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PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

or surrounded by secondary containment structures.

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend of holiday periods, and no individual-day rainfall information if available, record the cumulative rain measurement for those un attended days (and this will determine if a site inspection if needed). Days on which no rainfall occurred shall be recorded a "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 Identification of the measures inspected, Date and time of the inspection, Name of the person performing the inspection, Indication of whether the measures were operating properly, Description of maintenance needs for the measure, Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 Identification of the discharge outfalls inspected, Date and time of the inspection, Name of the person performing the inspection, Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, Indication of visible sediment leaving the site, Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 If visible sedimentation is found outside site limits, then a record of the following shall be made: Actions taken to clean up or stabilize the sediment that has left the site limits, Description, evidence, and date of corrective actions taken, and An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: Description, evidence and date of corrective actions taken, and Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	 The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING 1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation In addition to the E&SC Plan documents above, the following items shall be kept on the

site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

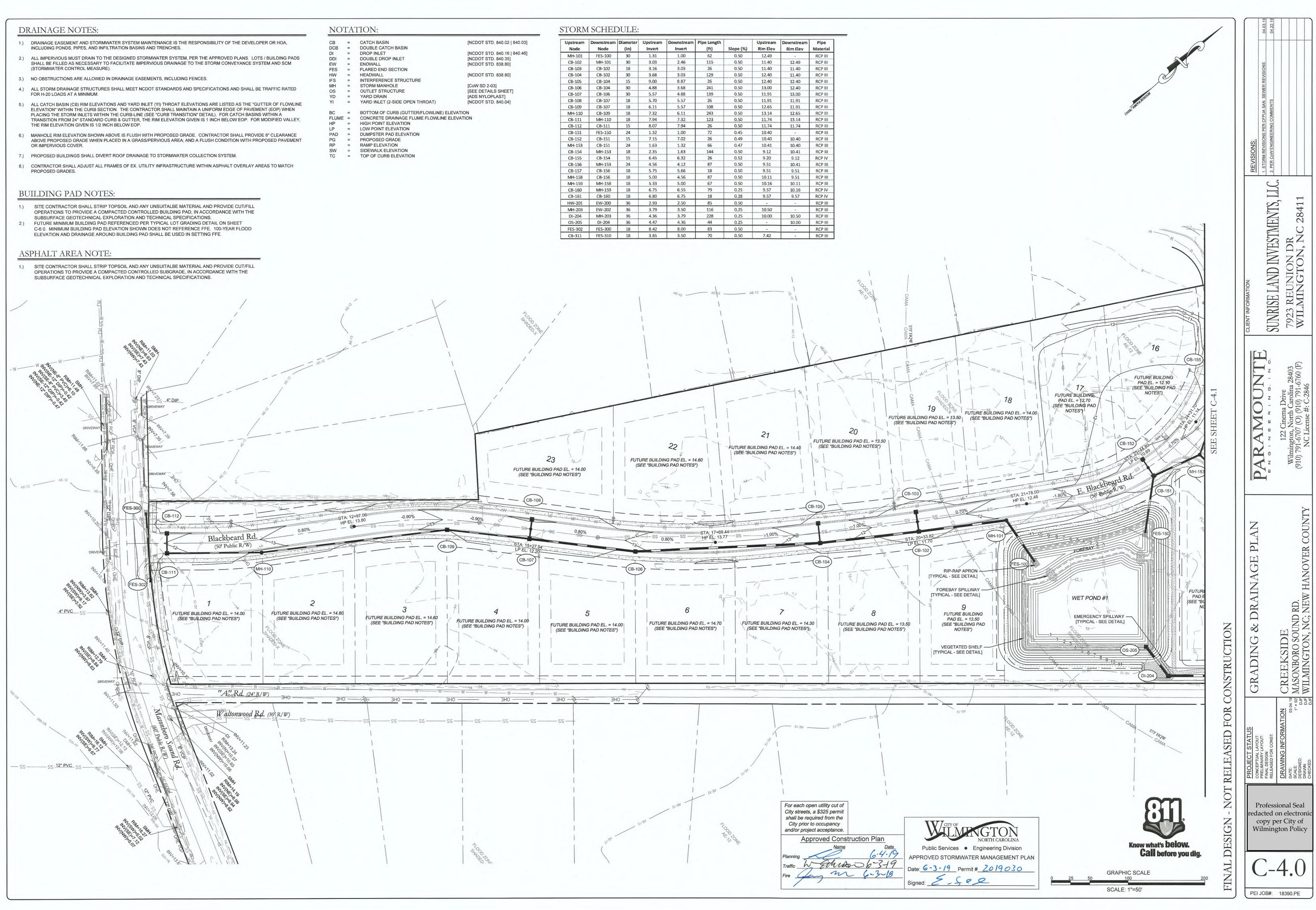
- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- (c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

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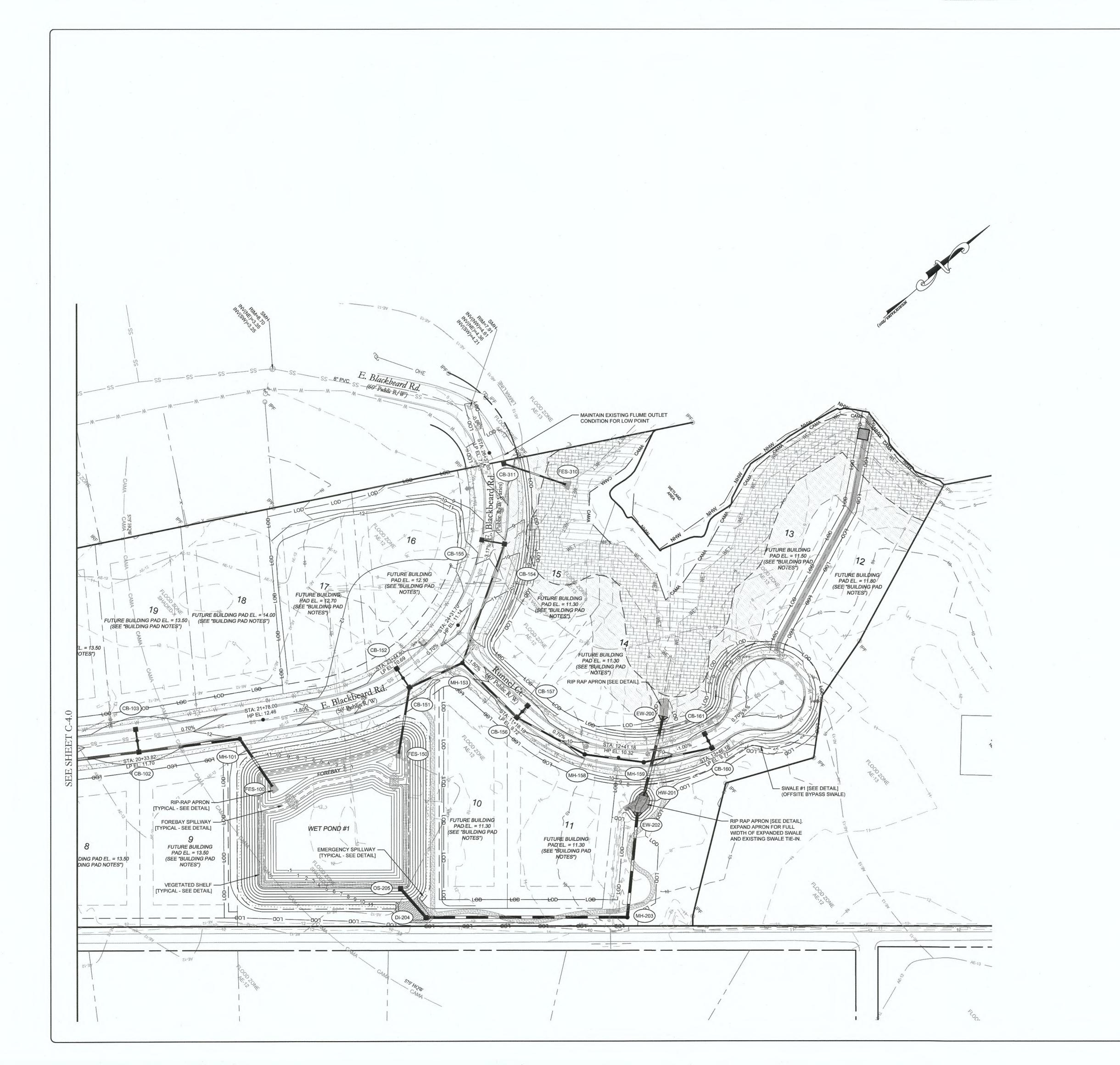
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CONCRETE WASH	OUTS	
	arge concrete or cement slurry from the site. or recycle settled, hardened concrete residue in accordance with local	
3. Manage was	lid waste regulations and at an approved facility. shout from mortar mixers in accordance with the above item and in	
lot perimete	ce the mixer and associated materials on impervious barrier and within er silt fence. orary concrete washouts per local requirements, where applicable. If an	
alternate me review and a	ethod or product is to be used, contact your approval authority for approval. If local standard details are not available, use one of the two	
5. Do not use o	nporary concrete washouts provided on this detail. concrete washouts for dewatering or storing defective curb or sidewalk	
discharged t	ormwater accumulated within the washout may not be pumped into or to the storm drain system or receiving surface waters. Liquid waste must out and removed from project.	
can be show	outs at least 50 feet from storm drain inlets and surface waters unless it on that no other alternatives are reasonably available. At a minimum,	
spills or over	ction of storm drain inlet(s) closest to the washout which could receive rflow. outs in an easily accessible area, on level ground and install a stone	
entrance pa approving a	d in front of the washout. Additional controls may be required by the uthority.	
limits. Post	st one sign directing concrete trucks to the washout within the project signage on the washout itself to identify this location. <i>v</i> ings from the washout when at approximately 75% capacity to limit	
overflow ever components	ents. Replace the tarp, sand bags or other temporary structural s when no longer functional. When utilizing alternative or proprietary	
10. At the comp	llow manufacturer's instructions. eletion of the concrete work, remove remaining leavings and dispose of red disposal facility. Fill pit, if applicable, and stabilize any disturbance	
	emoval of washout.	
	ICIDES AND RODENTICIDES	
restrictions.	pply herbicides, pesticides and rodenticides in accordance with label ides, pesticides and rodenticides in their original containers with the	
label, which accidental p	lists directions for use, ingredients and first aid steps in case of oisoning.	
possible or v	herbicides, pesticides and rodenticides in areas where flooding is where they may spill or leak into wells, stormwater drains, ground water ater. If a spill occurs, clean area immediately.	
	pile these materials onsite.	
HAZARDOUS AND		
	nated hazardous waste collection areas on-site. ous waste containers under cover or in secondary containment.	
	nazardous chemicais, drums or bagged materials directly on the ground. I	
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EFFECTIVE: 04/01/19

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				CLIENT INFORMATION: SUNRISE LAND INVESTMENTS, I 7923 REUNION DR WILMINGTON, NC 28411
				UNT N. G. I. N. C. Drive arolina 28403 () 791-6760 (F) C-2846
				ARAMOUNT NGINEERING. NO 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846
				Wilmin (910) 791
				UNTY
				PLAN VOVER CO
				NTROL RD.
			JCTION	EROSION CONTROL PLAN PHASE II CREEKSIDE MASONBORO SOUND RD. WILMINGTON, NC; NEW HANOVER COUNTY
			OR CONSTRUCTION	
	For each open utility cut of City streets, a \$325 permit		O F(IATUS our: our: our: our: our: our: 04.18.19 Nrs Dur Dur Dur Dur Dur Dur
	shall be required from the City prior to occupancy and/or project acceptance. Approved Construction Plan Name Date Planning 6.4.13		RELEASEI	PROJECT STATUS conceptual layout: preliminary layout: final design: released for const: praving informat date: date: date: date: date: checked:
7	raffic by AMLDon 6-3-19 ire feng nA 6-3-19 W/crry of	EII.	GN - NOT	Professional Seal redacted on electronic copy per City of Wilmington Policy
	Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN Date: <u>6-3-19</u> Permit # <u>2019030</u>	Know what's below. Call before you dig.	AL DESIGN	C-3.2
	Signed: E-See		FINAL	PEI JOB#: 18390.PE



Upstream Node	Downstream Node	Diameter (In)	Upstream Invert	Downstream Invert	Pipe Length (ft)	Slope (%)	Upstream Rim Elev	Rim Elev	Pipe Material
MH-101	FES-100	30	1.31	1.00	62	0.50	12.49	-	RCP III
CB-102	MH-101	30	3.03	2.46	115	0.50	11.40	12.49	RCP III
CB-103	CB-102	18	3.16	3.03	26	0.50	11.40	11.40	RCP III
CB-104	CB-102	30	3.68	3.03	129	0.50	12.40	11.40	RCP III
CB-105	CB-104	15	9.00	8.87	26	0.50	12.40	12.40	RCP III
CB-106	CB-104	30	4.88	3.68	241	0.50	13.00	12.40	RCP III
CB-107	CB-106	30	5.57	4.88	139	0.50	11.91	13.00	RCP III
CB-108	CB-107	18	5.70	5.57	26	0.50	11.91	11.91	RCP III
CB-109	CB-107	18	6.11	5.57	108	0.50	12.65	11.91	RCP III
MH-110	CB-109	18	7.32	6.11	243	0.50	13.14	12.65	RCP III
CB-111	MH-110	18	7.94	7.32	123	0.50	11.74	13.14	RCP III
CB-112	CB-111	15	8.07	7.94	26	0.50	11.74	11.74	RCP III
CB-151	FES-150	24	1.32	1.00	72	0.45	10.40	-	RCP III
CB-152	CB-151	15	7.15	7.02	26	0.49	10.40	10.40	RCP III
MH-153	CB-151	24	1.63	1.32	66	0.47	10.41	10.40	RCP III
CB-154	MH-153	18	2.35	1.63	144	0.50	9.12	10.41	RCP III
CB-155	CB-154	15	6.45	6.32	26	0.52	9.20	9.12	RCP IV
CB-156	MH-153	24	4.56	4.12	87	0.50	9.51	10.41	RCP III
CB-157	CB-156	18	5.75	5.66	18	0.50	9.51	9.51	RCP III
MH-158	CB-156	18	5.00	4.56	87	0.50	10.11	9.51	RCP III
MH-159	MH-158	18	5.33	5.00	67	0.50	10.16	10.11	RCP III
CB-160	MH-159	18	6.75	6.55	79	0.25	9.57	10.16	RCP IV
CB-161	CB-160	18	6.80	6.75	18	0.28	9.57	9.57	RCP IV
HW-201	EW-200	36	2.93	2.50	85	0.50	-	-	RCP III
MH-203	EW-202	36	3.79	3.50	116	0.25	10.50		RCP III
DI-204	MH-203	36	4.36	3.79	228	0.25	10.00	10.50	RCP III
OS-205	DI-204	36	4.47	4.36	44	0.25	-	10.00	RCP III
FES-302	FES-300	18	8.42	8.00	83	0.50	-	-	RCP III
CB-311	FES-310	18	3.85	3.50	70	0.50	7.42	-	RCP III



			04.22.19 05.22.19	
			REVISIONS: 1. PER CoW ENGINEERING COMMENTS 2. PER CoW TRC COMMENTS	
				, NC 28411
			CLIENT INFORMATION: SUNRISE LAND INVESTMENTS, LLC. 7923 R FLINTON DR	
				(910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846
			PLAN PLAN	HANOVER COUNTY
	For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance. Approved Construction Plan Name Date Planning $6:4.19$ Traffic $4.4.19$ Traffic $4.4.19$ Fire $6:4.19$	CONSTRUCTION	GRADING & D CREEKSIDE	THE SEA MASONBORO SOUND RD. DUF WILMINGTON, NC; NEW HANOV
	With of the carolina Public Services • Engineering Division APPROVED STORMWATER MANAGEMENT PLAN Date: 6-3-19 Permit # 2019030 Signed: 5-522	N - NOT RELEASED FOR	PROJECT STATUS PROJECT STATUS CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONST: RELEASED FOR CONST: DRAWING INFORMATIC	Seal BESIGNE CHECKED Seal Seal Sectronic ty of
0	Know what's below. Call before you dig. GRAPHIC SCALE 5 50 100 200 SCALE: 1"=50'	FINAL DESIGN	Wilmington I C-4 PEI JOB#: 18390	.1

GRAVITY SEWER NOTES:

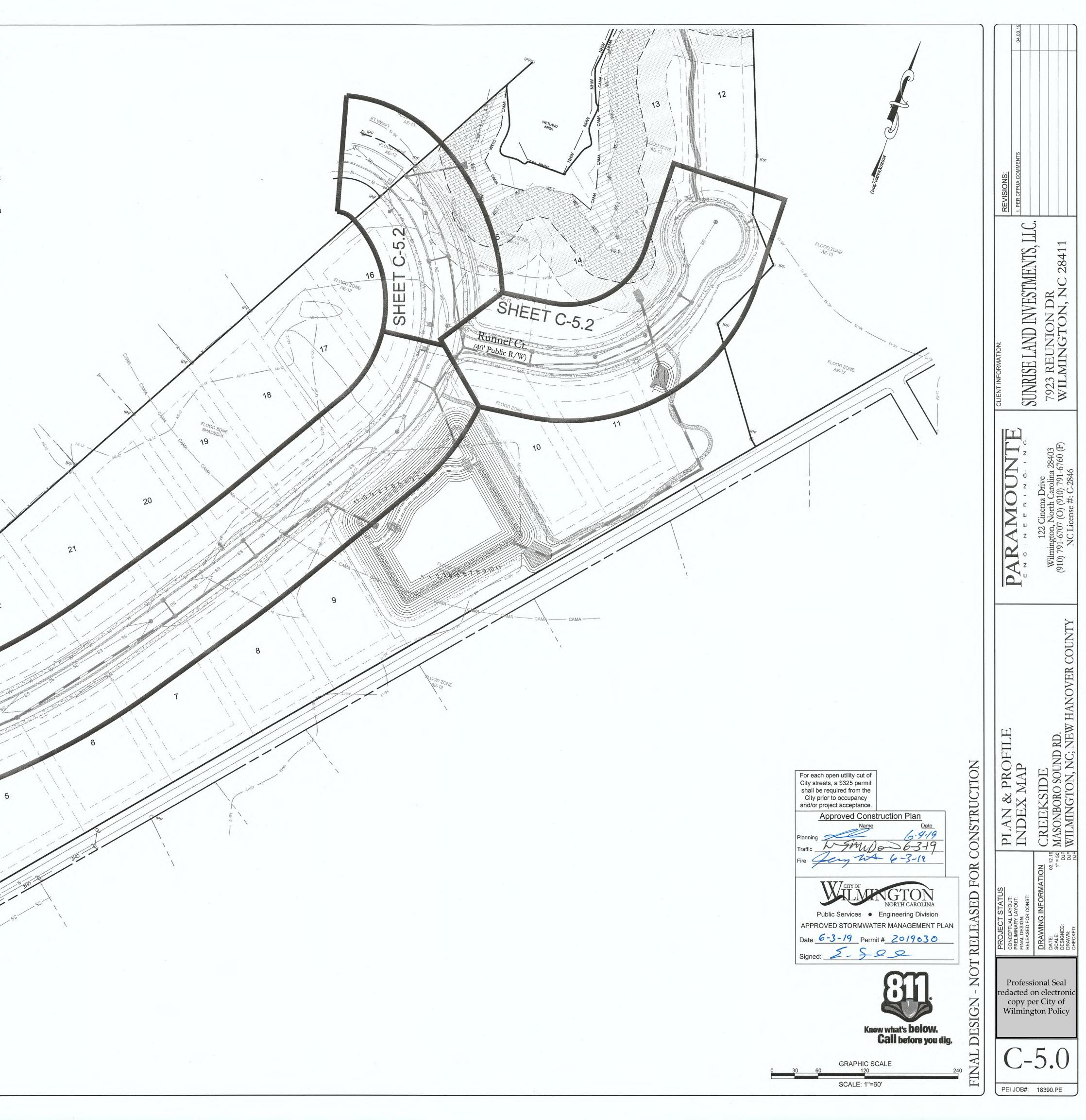
- 1. ALL MANHOLES LOCATED WITHIN 50' OF WETLANDS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: 1.1. SEAMS SHALL BE EXTERNALLY TAPED / SEALED WITH WATERTIGHT MATERIAL. 1.2. ALL MANHOLE INTERIORS SHALL BE FULLY LINED WITH WATERPROOF COATING.
- 1.3. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C1244 "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST PRIOR TO BACKFILL.

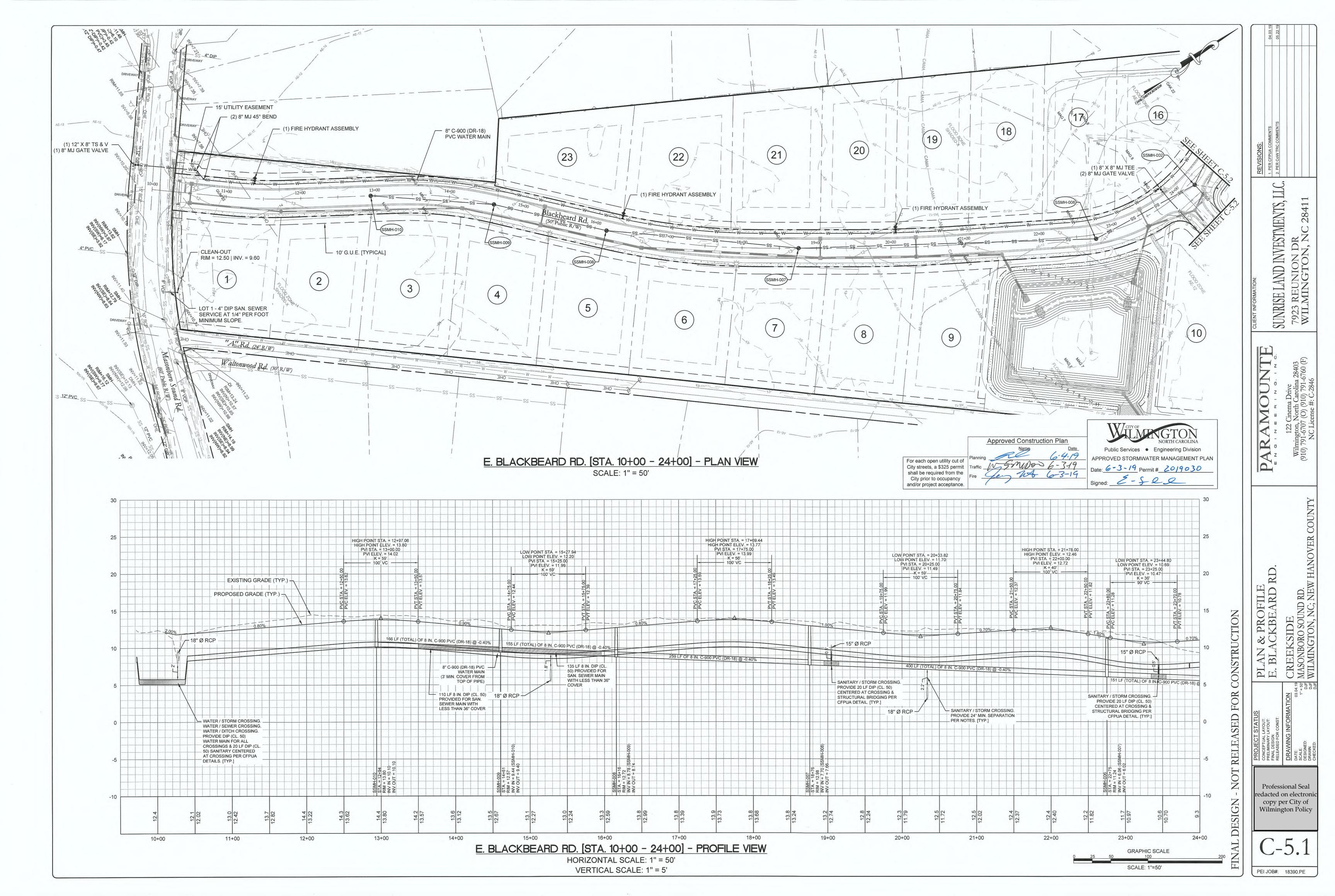
2. ALL SEWER PIPE MATERIALS, INSTALLATION, AND TESTING SHALL MEET WATER MAIN STANDARDS WHEN LOCATED WITHIN 50' OF WETLANDS.

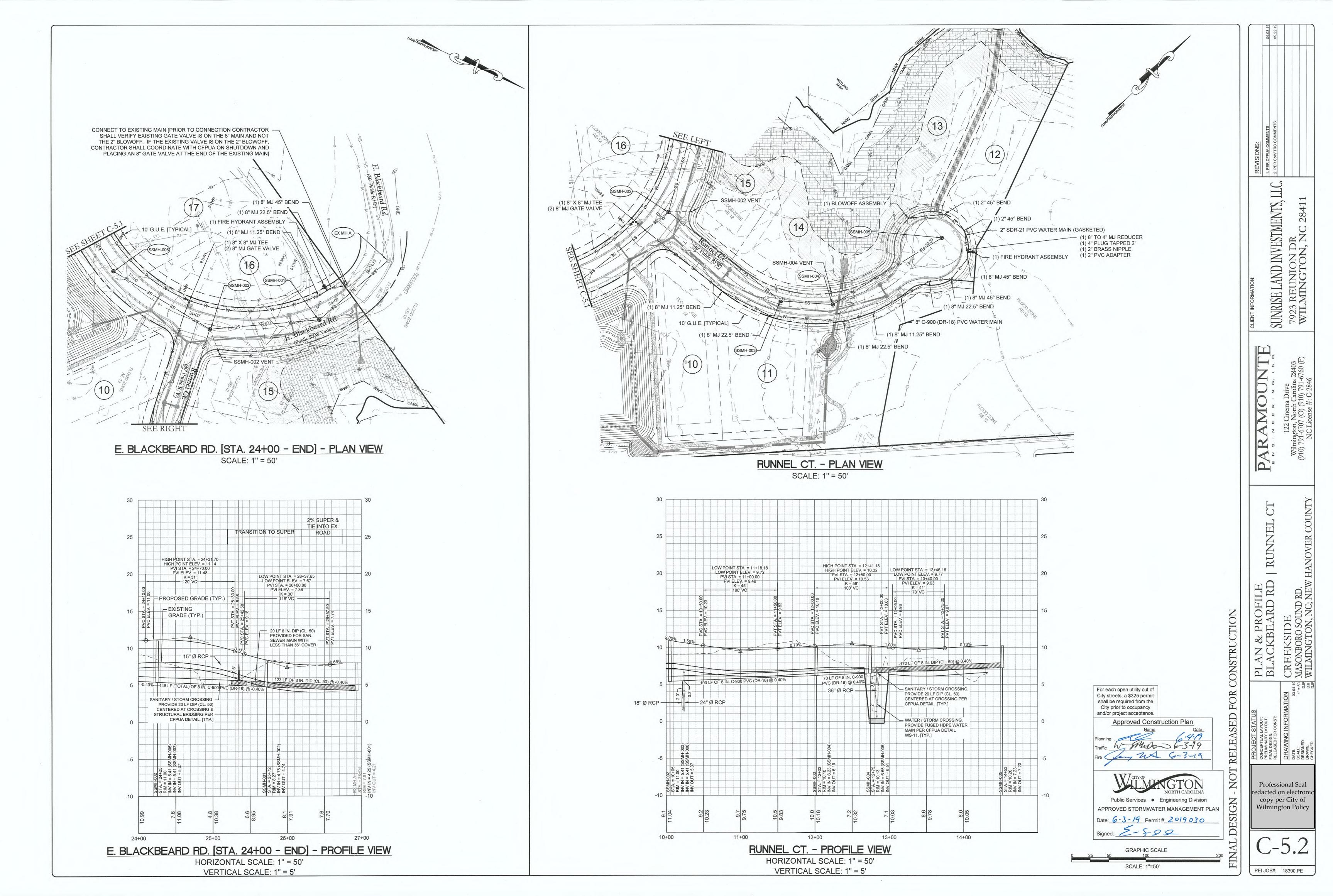
- 3. MANHOLES LOCATED WITHIN THE 100-YEAR FLOOD PLAIN WHERE THE DESIGN RIM ELEVATION IS NOT 24 INCHES (2 FOOT) ABOVE THE 100-YEAR FLOOD ELEVATION [SSMH-001, SSMH-002, SSMH-003, SSMH-004, SSMH-005, AND SSMH-006] SHALL CONFORM TO THE FOLLOWING:
- 3.1. MANHOLES SHALL BE WATERTIGHT AND VENTED 24 INCHES (2 FOOT) ABOVE THE 100-YEAR FLOOD ELEVATION. MANHOLES SHALL BE VENTED EVERY 1,000 FEET OR EVERY OTHER MANHOLE, WHICHEVER IS GREATER. 3.2. PROVIDE WATERTIGHT, BOLTED RIM AND COVER.

UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)

- WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE 1. ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON 2. PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE 3. CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER 4. SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
- 5. WHERE VERTICAL CLEARANCE IS LESS THAT 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.



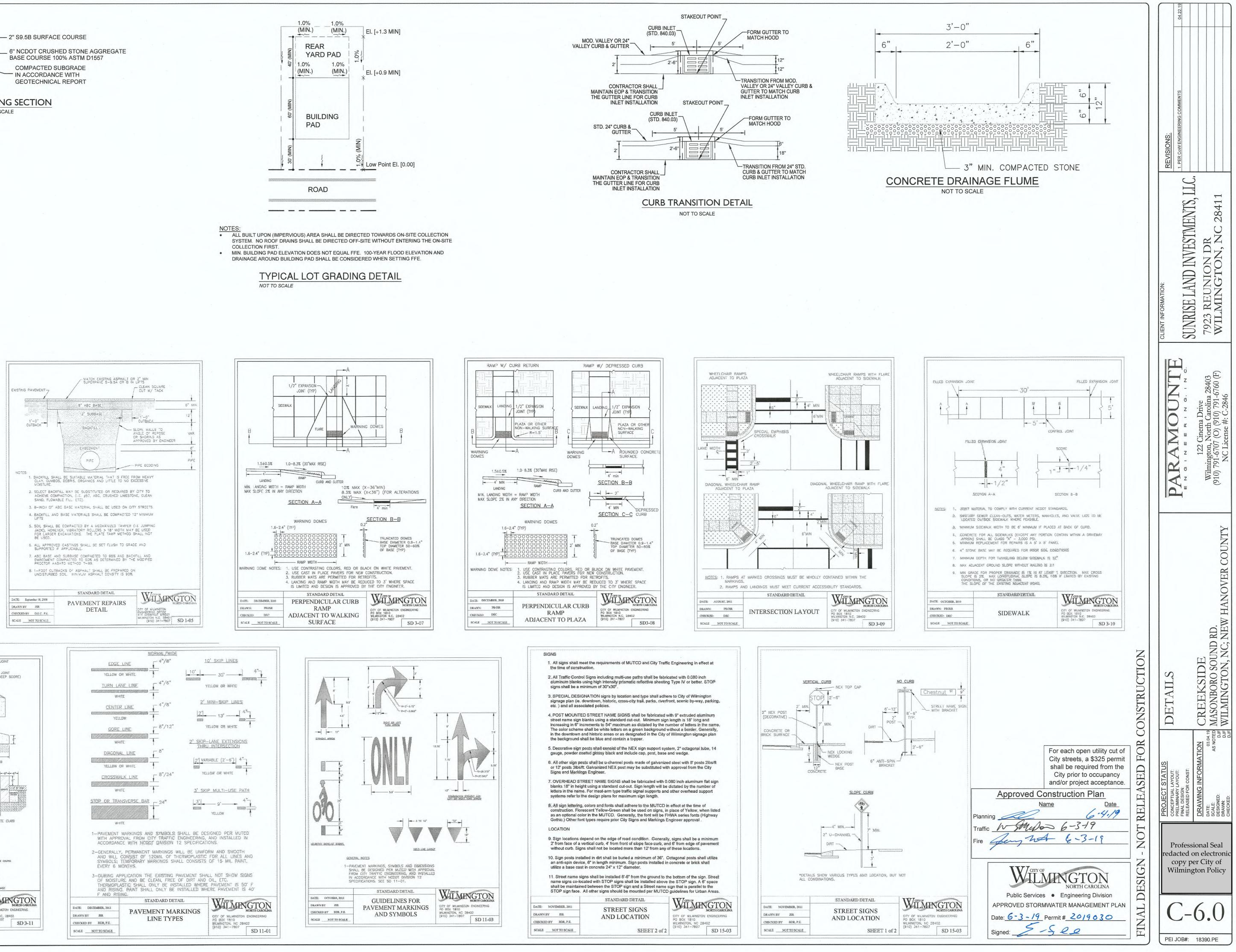


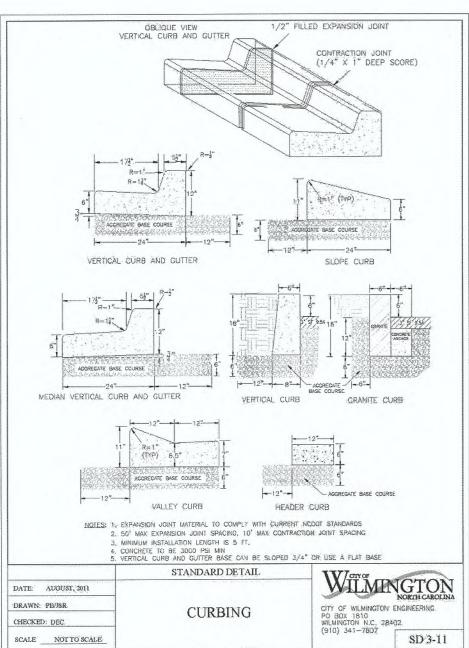


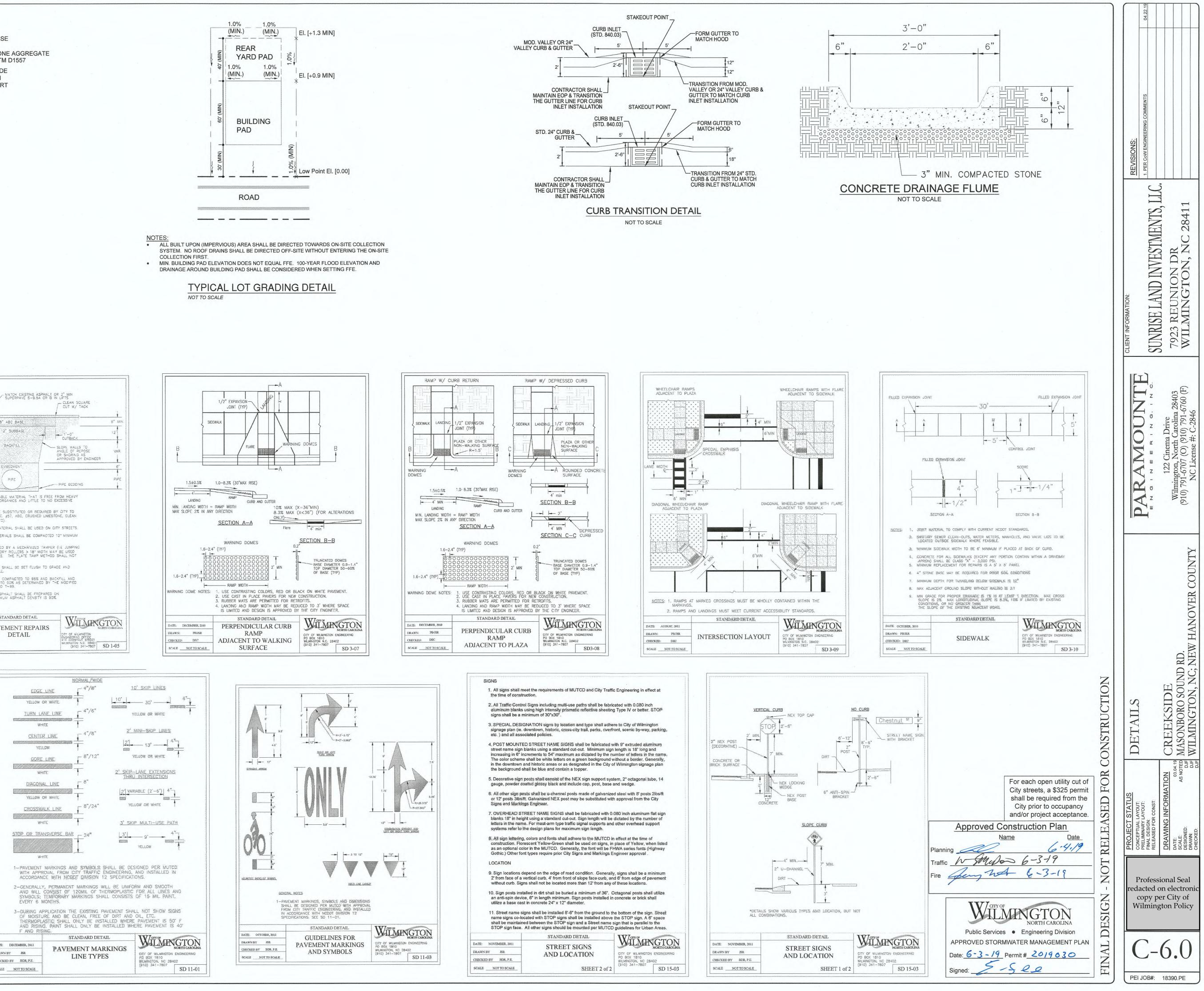
COMPACTED SUBGRADE - IN ACCORDANCE WITH GEOTECHNICAL REPORT

ASPHALT PAVING SECTION NOT TO SCALE

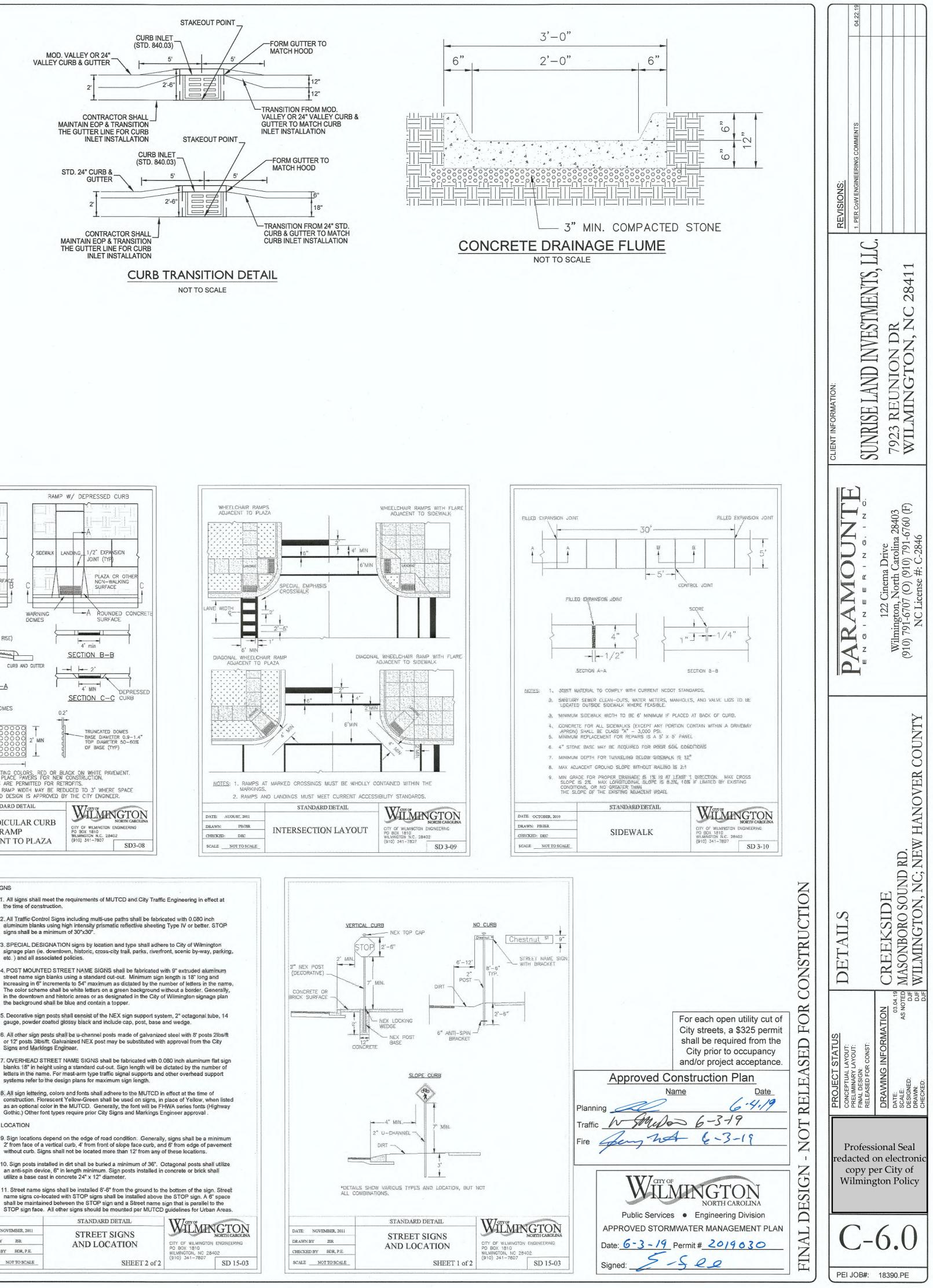
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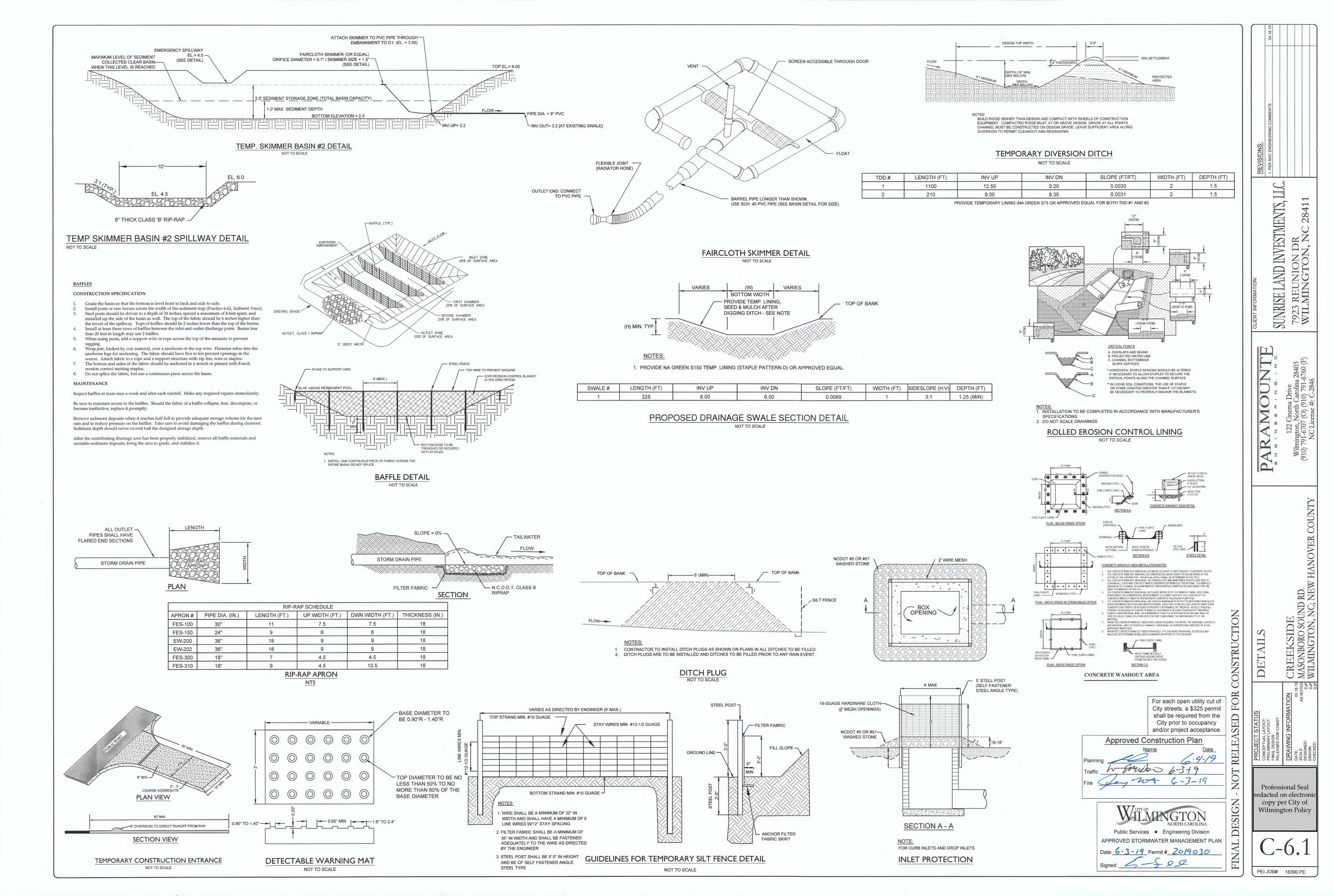


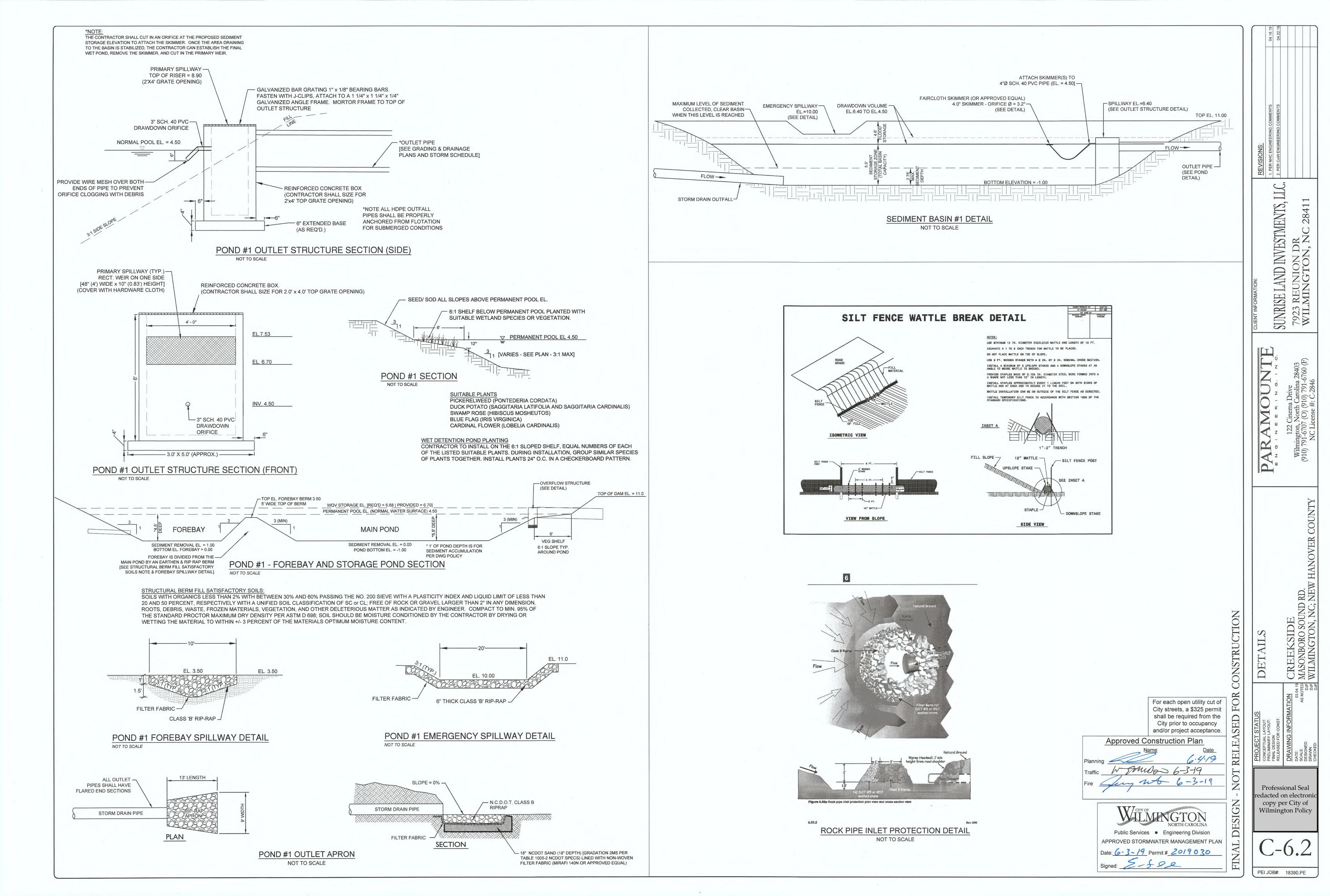


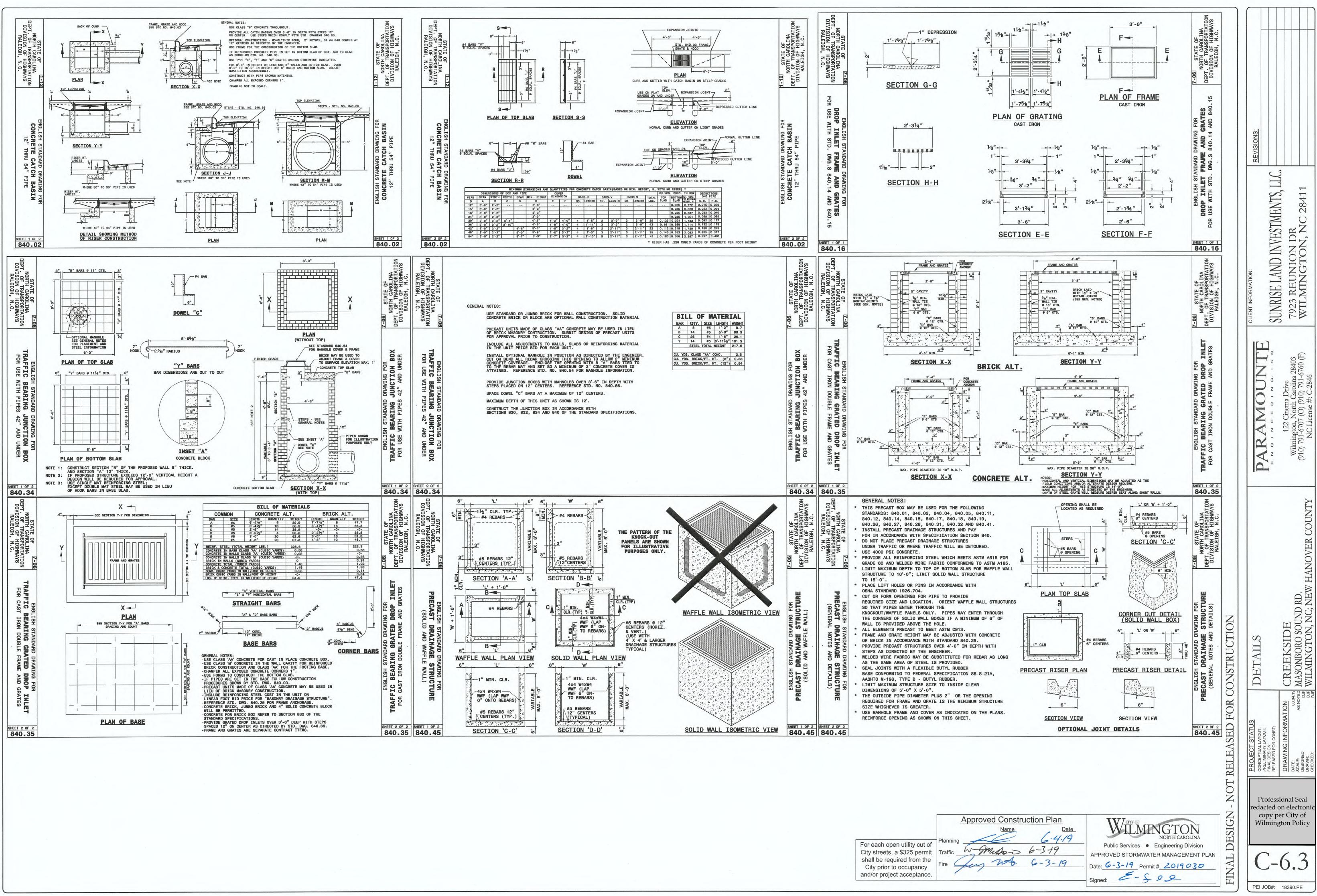


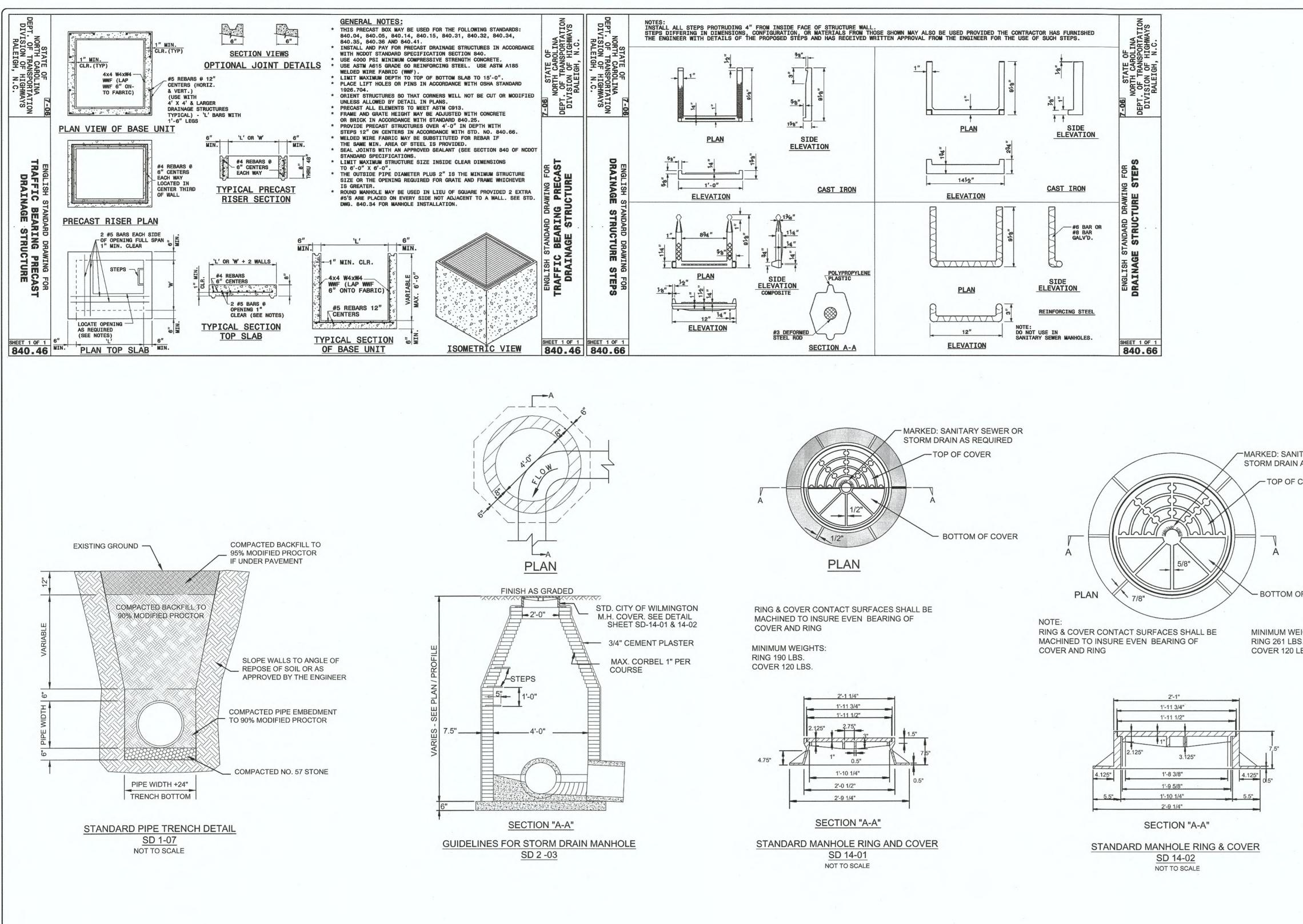


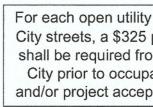




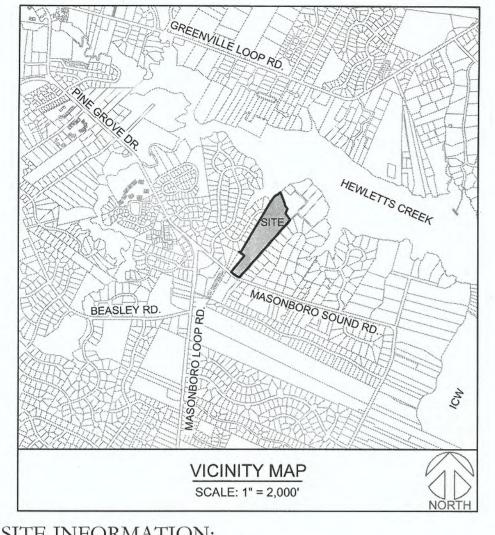


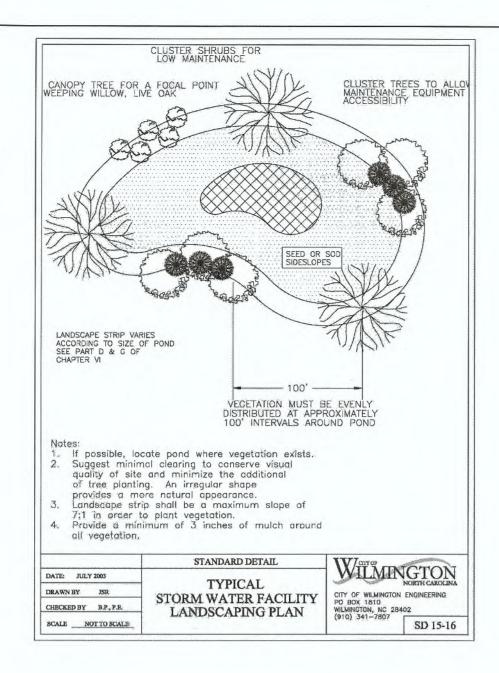






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= COVER				122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846
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		ILEASEI	PROJECT STATUS CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: FINAL DESIGN: RELEASED FOR CONST:	DRAWING INFOI DATE: SCALE: DESIGNED: DRAWN: CHECKED:
		NOT RELEASE		onal Seal
Approved Construction Plan	WILMINGTON NORTH CAROLINA	DESIGN - 1	redacted o copy pe	on electronic er City of ton Policy
cut of permit Traffic WAMCOON 6-3-19 m the ancy trance.	- Public Services • Engineering Division - APPROVED STORMWATER MANAGEMENT PLAN - Date: <u>6-3-19</u> Permit # <u>2019030</u> - Signed: <u>5-5-99</u>	FINAL DE	C-	6.4
	- Signed: 5-5.89	H	PEI JOB#:	18390.PE





" ROAD (24' R/W,

SITE INFORMATION:

PARCEL ID: CURRENT ZONING: PROPOSED USE:

PROJECT SITE AREA: OWNER INFORMATION:

FLOOD INFORMATION:

CAMA LAND USE CLASSIFICATION:

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.

AUGUST 28, 2018

R06700-002-136-000

DETACHED SINGLE FAMILY RESIDENTIAL

THIS PARCEL CONTAINS AREAS LOCATED IN FLOOD ZONE AE-12, AE-13, AND ZONE X, AS

+ 16.29 ACRES (+ 709,592 SF)

WILMINGTON, NC 28409

CONSERVATION AREA

SUNSET LAND INVESTMENTS, LLC. 6310 SEA MIST CT

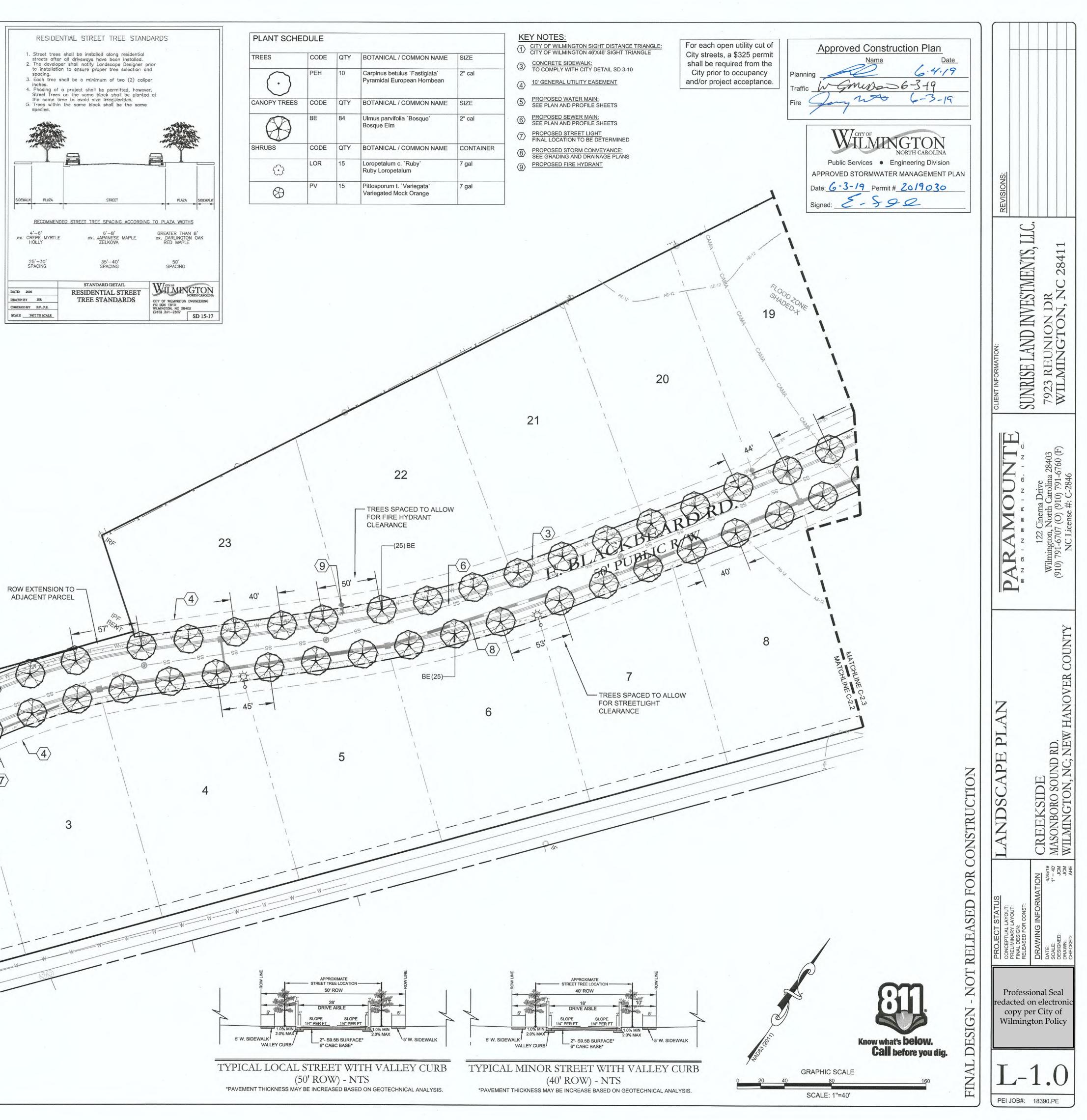
DETERMINED BY FEMA FLOOD PANEL

3720314600K AND 3720314500K DATED

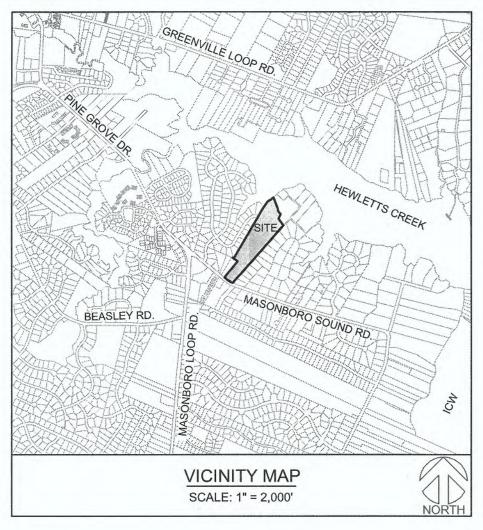
WATERSHED RESOURCE PROTECTION;

R-20

- WILL OCCUR IN THOSE AREAS.
 3. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/ OR TREE
- REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
 PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES
- RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. 8. ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELED GROUND.
- IF AN AUTOMATIC IRRIGATION SYSTEM IS PROVIDED, IT SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
 THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONITOR FROM THE ACCEPTANICS OF THE OWNER OF OPPERSENTATIVE IS INFORMATION WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6
- MONTHS FROM THE ACCEPTANCE OF THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
 13. CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE
- PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
 14. ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
 15. ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM
- 30" TO 10'.
 16. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.



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